

# SMARTCODE



**SMARTCODE**  
Elmore, Alabama

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**1.1 AUTHORITY**

1.1.1 The Town of Elmore adopts the SmartCode as an floating overlay zone eligible to be used for any real property within the zoning jurisdiction of Elmore, subject to the minimum contiguous acreage requirements set forth in Article 3 and Article 4. Once the overlay zone has been approved for real property within the zoning jurisdiction of Elmore, the SmartCode zoning replaces any underlying zoning for the real property at issue. The action of the Town of Elmore, Alabama in the adoption of this Code is authorized under:

(a) Section 11-52-70 thru 84, Code of Alabama, 1975, as amended.

1.1.2 This Code is adopted as one of the instruments of implementation of the public purposes and objectives of the adopted Town of Elmore Comprehensive Development Plan. This Code is declared to be in accord with the Town of Elmore Comprehensive Development Plan.

1.1.3 This Code was adopted by and amended by vote of the Town of Elmore Planning Commission (the "Planning Commission") and the Town Council of the Town of Elmore (the "Town Council").

1.1.4 This Code was adopted to promote the health, safety and general welfare of the citizens of the Town of Elmore, Alabama, including without limitation, protection of the environment, conservation of land, energy and natural resources, reduction in vehicular traffic congestion, more efficient use of public funds, health benefits of pedestrian environment, historic preservation, education and recreation, reduction in sprawl development and improvement of the built environment and human habitat.

**1.2 PURPOSE**

The purpose of this Code is to enable, encourage and qualify the implementation of the following policies:

**1.2.1 The Region**

- a. That the region should retain its natural infrastructure and visual character derived from topography, woodlands, farmlands, riparian corridors and coastlines.
- b. That growth strategies should encourage Infill and redevelopment in parity with new communities.
- c. That development contiguous to urban areas should be structured in the Neighborhood pattern and be integrated with the existing urban pattern.
- d. That development non-contiguous to urban areas should be organized in the pattern of Clusters, Neighborhoods or Villages, and Regional Centers.
- e. That affordable housing should be distributed throughout the region to match job opportunities and to avoid concentrations of poverty.
- f. That transportation corridors should be planned and reserved in coordination with land use.
- g. That green corridors should be used to define and connect the urbanized areas.
- h. That the region should include a framework of transit, pedestrian, and bicycle systems that provide alternatives to the automobile.

**1.2.2 The Community**

- a. That Neighborhoods and Regional Centers should be compact, pedestrian-oriented and mixed-use.
- b. That Neighborhoods and Regional Centers should be the preferred pattern of development and that districts specializing in single-use should be the exception.
- c. That ordinary activities of daily living should occur within walking distance of most dwellings, allowing independence to those who do not drive.
- d. That interconnected networks of Thoroughfares should be designed to disperse and reduce the length of automobile trips.
- e. That within Neighborhoods, a range of housing Types and price levels should be provided to accommodate diverse ages and incomes.
- f. That appropriate building Densities and land uses should be provided within walking distance of transit stops.
- g. That Civic, institutional, and Commercial activity should be embedded in Downtowns, not isolated in remote single-use complexes.
- h. That schools should be sized and located to enable children to walk or bicycle to them.
- i. That a range of open space including parks, squares, and playgrounds should be distributed within Neighborhoods and urban center zones.

**1.2.3 The Block and the Building**

- a. That buildings and landscaping should contribute to the physical definition of Thoroughfares as Civic places.
- b. That development should adequately accommodate automobiles while respecting the pedestrian and the spatial form of public space.
- c. That the design of streets and buildings should reinforce safe environments, but not at the expense of accessibility.
- d. That architecture and landscape design should grow from local climate, topography, history, and building practice.
- e. That buildings should provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
- f. That Civic Buildings and public gathering places should be provided locations that reinforce community identity and support self-government.
- g. That Civic Buildings should be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
- h. That the preservation and renewal of historic buildings should be facilitated to affirm the continuity and evolution of society.
- i. That the harmonious and orderly evolution of urban areas should be secured through graphic codes that serve as guides for change.

**1.3 APPLICABILITY**

- 1.3.1 Provisions of this Code are activated by "shall" when required; "should" when recommended; and "may" when optional.
- 1.3.2 The provisions of this Code, when in conflict, shall take precedence over those of other codes, ordinances, regulations and standards except the existing Town of Elmore Building Code (the "Local Health and Safety Code").

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- 1.3.3 [Reserved]
- 1.3.4 Terms used throughout this Code shall be accorded their commonly accepted meanings or as defined in Articles 1, 3-6 or in the Article 7 Definitions of Terms. In the event of conflicts between these definitions and those of any other laws or ordinances of the Town of Elmore, those of this Code shall take precedence related to the use and application of this Code.
- 1.3.5 The Article 7 Definitions of Terms contains regulatory language that is integral to this Code.
- 1.4 PROCESS**
- 1.4.1 Communities (defined by extent and intensity in Articles 3 and 4) are comprised of Transect Zones (defined by the elements appropriate to them in Article 5 and in Article 6 Standards & Tables).
- 1.4.2 [Reserved]
- 1.4.3 The Town of Elmore hereby creates a Consolidated Review Committee (CRC) comprised of a representative from the Planning Commission, the Town of Elmore Board of Zoning Appeals, the Town of Elmore Public Works Department, the Fire Department, and the Clerk's Office for the Town of Elmore. The CRC shall expedite the permitting process by providing a single interface between the developer and the agencies.
- 1.4.4 An owner or developer may appeal a decision of the CRC to the Planning Commission and may appeal a decision of the Planning Commission to the Town Council.
- 1.4.5 Should a violation of an approved plan occur during construction, the CRC has the right to require the owner or developer to stop, remove, and/or mitigate the violation, or to require the owner or developer to secure a Variance to cover the violation.
- 1.4.6 Following approval by the CRC and upon written request to the CRC by the owner or developer, a New Community Plan or Infill Community Plan shall be placed on the next available agenda for final plat approval by the Planning Commission.
- 1.5 WARRANTS AND VARIANCES**
- 1.5.1 There shall be two levels of deviation from the requirements of this Code: Warrants and Variances. Whether a deviation requires a Warrant or Variance shall be determined by the CRC pursuant to regulations promulgated by the CRC.
- 1.5.2 A Warrant is a minor, technical deviation that would permit a practice that is not consistent with a specific provision of this Code, but is justified by its Purpose (Section 1.2). The CRC shall have the authority administratively to approve or disapprove a request for a Warrant pursuant to regulations promulgated by the CRC.
- 1.5.3 A Variance is any ruling on a deviation other than a Warrant. Variances shall be granted only in accordance with the procedures established by the Town of Elmore Board of Zoning Appeals.
- 1.5.4 The request for a Variance shall not subject the entire application to public hearing, but only that portion necessary to rule on the issue requiring a Variance.
- 1.5.5 The following standards and requirements shall not be available for Warrants or Variances:

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- a. The allocation ratios of each Transect Zone.
- b. The maximum dimensions of traffic lanes.
- c. The required provision of Alleys and Rear Lanes.
- d. The minimum Residential Densities.
- e. The permission to build ancillary apartments.
- f. The requirements of parking location.

**1.6 INCENTIVES**

- 1.6.1 To encourage the use of this Code, the Town Council shall grant the following incentives, to the extent authorized by state law:
  - a. Applications under this Code shall be processed administratively by the CRC rather than through public hearing.
  - b. Applications under this Code shall be processed with priority over others under the conventional Code with prior filing dates.

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**ARTICLE 2. SECTOR SCALE PLANS**

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[RESERVED]

**SMARTCODE****ARTICLE 3. NEW COMMUNITY SCALE PLANS**

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**3.1 INSTRUCTIONS**

- 3.1.1 Article 3 shall be available as an optional overlay by right throughout the entire jurisdiction and shall be the exclusive and mandatory zoning regulations for the areas marked as SmartCode Districts on the zoning map attached hereto as Exhibit "A". Whenever utilized, the provisions of this Code shall be applied in their entirety.
- 3.1.2 Incentives for the use of this Code are listed in Section 1.6. Development in the SmartCode Districts shall be eligible for Section 1.6 incentives.
- 3.1.3 New Community Plans may be prepared by an owner, a developer, or by the CRC or a representative on its behalf.
- 3.1.4 New Community Plans submitted in accordance with the provisions of this Code shall be approved administratively by the CRC.
- 3.1.5 [Reserved]
- 3.1.6 [Reserved]
- 3.1.7 New Community Plans shall respond to the existing conditions of the site, adjacent developments, connecting Thoroughfares, natural features and man-made traces, as determined by the CRC.
- 3.1.8 New Community Plans shall be structured as one or several Pedestrian Sheds as specified in Section 3.3.
- 3.1.9 New Community Plans shall allocate the Transect Zones and Densities as specified in Sections 3.2 and Table 14.
- 3.1.10 Remnants of the site outside the Pedestrian Sheds may be Warranted as Natural Zones (T1), Rural Zones (T2), Sub-Urban Zones (T3) or as Civic Space (CS).
- 3.1.11 New Community Plans shall lay out the Thoroughfare network according to the provisions of Section 3.6 and Tables 3A, 3B, and 3C.
- 3.1.12 New Community Plans shall allocate the Civic Functions according to Section 3.7.
- 3.1.13 New Community Plans shall be detailed with the Special Requirements described in Section 3.8.
- 3.1.14 [Reserved]
- 3.1.15 [Reserved]

**3.2 TRANSECT ZONES**

- 3.2.1 Transect Zones shall be constituted of the elements described in Table 1 and the standards summarized in Table 14.

**3.3 COMMUNITY TYPES****3.3.1 Clustered Land Development (CLD)**

- a. CLDs shall be permitted by right for New Community Plans of at least 40 contiguous acres.
- b. A CLD shall consist of no more than one standard Pedestrian Shed (1/4 mile radius) including T2, T3 and T4 Zones as specified in Table 14A. However, a minimum of 50% of the parcel shall be permanently allocated to a Natural or Rural Zone (T1 & T2).

3.3.2 **Traditional Neighborhood Development (TND)**

- a. TNDs shall be permitted by right for New Community Plans of at least 40 contiguous acres.
- b. A TND may be comprised of a partial or entire Standard Pedestrian Shed (1/4 mile radius) or more than one Standard Pedestrian Shed, each with the individual Transect Zone requirements of a TND as specified in Table 14A.

3.3.3 **Regional Center Development (RCD)**

- a. RCDs shall be permitted by right for New Community Plans of at least 80 contiguous acres.
- b. [Reserved]
- c. An RCD shall be limited to one Long Pedestrian Shed (1/2 mile radius) including T4, T5, and T6 Zones as specified in Table 14A, and may be adjoined without buffers by one or several partial or entire Standard Pedestrian Sheds, each with the individual Transect Zone requirements of an RCD as specified in Tables 14A.

3.3.4 [Reserved]

3.4 **DENSITY CALCULATIONS**

3.4.1 The Developable Areas of the site shall be considered the Net Site Area. The Net Site Area shall be allocated to the various Transect Zones according to the parameters specified in Table 14A.

3.4.2 The Overall Density shall be calculated in terms of housing units as specified for the area of each Transect Zone by Table 14B. For purposes of Density calculation, the Transect Zone Areas include the Thoroughfares but not land allocated to Civic Function.

3.4.3 [Reserved]

3.4.4 The percent of the housing units shown on Table 14B shall be exchanged for other Functions at the following rates:

- a. For Lodging: 2 bedrooms for each unit of Overall Density.
- b. For Office or Retail: 1000 square feet for each unit of Overall Density.
- c. The number of units exchanged shall be approved by Warrant.

3.4.5 The housing and other Functions for each Transect Zone shall be further adjusted at the building scale according to Article 5.

3.5 [Reserved]

3.6 **STREETSCAPE REQUIREMENTS**

3.6.1 **General**

- a. Thoroughfares are intended for use by vehicular and pedestrian traffic and to provide access to lots and open spaces.
- b. Thoroughfares consist of vehicular lanes and Public Frontages. The lanes provide the traffic and parking capacity. They consist of vehicular lanes in a variety of widths for parked and for moving vehicles. The Frontages contribute to the character of the Transect Zone. They include the Types of sidewalk, curbing, planter, and street tree.

- c. Thoroughfares shall be designed in context with the urban form and desired design speed of the Transect Zones through which they pass. Thoroughfares that pass from one Transect Zone to another shall adjust their Public Frontages accordingly or, alternatively, the Transect Zone shall follow the alignment of the Thoroughfare to the depth of one lot, retaining a single Public Frontage throughout its trajectory.
- d. Within the more rural Transect Zones (T1 through T3), pedestrian comfort shall be a secondary consideration of the Thoroughfare. Design conflict between vehicular and pedestrian movement shall be decided in favor of vehicular mobility.
- e. Within the more urban Transect Zones (T4 through T6), pedestrian comfort shall be the primary consideration of the Thoroughfare. Design conflict between vehicular and pedestrian movement shall be decided in favor of the pedestrian.

### 3.6.2 Thoroughfares

- a. Vehicular lanes shall comply with the standards set forth in Table 3.
- b. The Thoroughfare network shall be designed to define blocks not exceeding the size prescribed in Table 14C. The size shall be measured as the sum of lot Frontage Lines.
- c. All Thoroughfares shall terminate at other Thoroughfares, forming a network. Internal Thoroughfares shall connect wherever possible to those on adjacent sites. Cul-de-sacs shall be permitted only when Warranted by natural site conditions.
- d. Lots shall enfront a vehicular Thoroughfare, except that 20% of the lots within each Transect Zone may enfront a pedestrian passage.
- e. Thoroughfares along a designated Secondary Grid (Section 3.8.1a) may be exempted from the specified Frontage requirements.
- f. A bicycle network consisting of Trails, Routes and Lanes should be provided throughout as defined in Article 7 Definitions of Terms and allocated in Table 14D. The community bicycle network should be connected to existing or proposed Sector networks wherever possible.

### 3.6.3 Public Frontages

- a. Public Frontages shall be designed as shown in Table 4 and allocated within Transect Zones as specified in Table 14D.
- b. Within the Public Frontages, the prescribed Type of street trees and street lights shall be as shown in Tables 4, 5 and 6. The spacing may be adjusted by Warrant to accommodate specific site conditions.

### 3.6.4 Specific to Special Districts

- a. The standards for Thoroughfares and Public Frontages within Special Districts shall be determined by Warrant.

## 3.7 CIVIC FUNCTIONS

### 3.7.1 General

- a. Places for public use shall be required for each community and designated on the New Community Plan as Civic Space (CS) and Civic Building (CB).
- b. Civic Spaces shall be public sites permanently dedicated to open space.
- c. Civic Buildings shall be sites dedicated for buildings operated by not-for-profit

organizations dedicated to culture, education, government, transit and municipal parking, or for a use approved by the Town Council.

### 3.7.2 Civic Space (CS) Specific to T3-T6 Zones

- a. Each Pedestrian Shed shall assign at least 5% of its area to Civic Space.
- b. Civic Spaces shall be designed as described in Table 13 and approved by the CRC and allocated to Transect Zones as described in Table 14E.
- c. Each Pedestrian Shed shall contain at least one Main Civic Space. The Main Civic Space shall be within 800 feet of the geographic center of each Pedestrian Shed, unless prevented by topographic conditions or pre-existing Thoroughfare alignments as determined by the CRC.
- d. Within 1000 feet of every lot in Residential use, a Civic Space designed as a playground shall be provided.
- e. Each Civic Space shall have a minimum of 50% of its perimeter enfronting a Thoroughfare.
- f. Civic Spaces may be permitted within Special Districts by Warrant.
- g. Parks may be permitted in Transect Zones T4, T5 and T6 by Warrant (Table 14E).

### 3.7.3 Civic Buildings (CB) Specific to T3-T6 Zones

- a. The developer shall covenant to construct a Meeting Hall or a Third Place in proximity to the Main Civic Space of each Pedestrian Shed.
- b. One Civic Building lot shall be reserved for an elementary school. Its area shall be 1 acre for each increment of 100 dwelling units provided by the New Community Plan. The school site may be within any Transect Zone. Any playing fields should be outside the Pedestrian Shed.
- c. One Civic Building lot suitable for a childcare building shall be reserved within each Pedestrian Shed.
- d. Civic Building sites shall not occupy more than 20% of the area of each Pedestrian Shed.
- e. Civic Building sites should be located within or adjacent to Civic Spaces, or at the axial termination of significant Thoroughfares.
- f. Civic Buildings shall not be subject to the standards of Article 5. The particulars of their design shall be determined by Variance.
- g. Parking for Civic Buildings shall only be adjusted by Warrant. Civic parking lots may remain unpaved if graded, compacted and landscaped.
- h. Civic Buildings may be permitted within Special Districts by Variance.

### 3.7.4 Civic Functions Specific to T1 & T2 Zones

- a. Civic Buildings and Civic Spaces related to education, recreation and culture may be erected within T1 Natural and T2 Rural Zones by Variance.
- b. Those portions of the T1 Natural and T2 Rural Zones that occur within a development parcel are an integral part of the Civic Function allocation and should conform to one or more of the Types specified in Table 13.

## 3.8 SPECIAL REQUIREMENTS

- 3.8.1 A New Community Plan shall designate the following special requirements:
- a. A differentiation of the Thoroughfares as a Primary-Grid (P-Grid) and a Secondary-Grid (S-Grid). Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Warrants and Variances allowing automobile-oriented standards. The Frontages assigned to the S-Grid shall not exceed 30% of the total length within a Pedestrian Shed.
  - b. A designation for mandatory or recommended Retail Frontage requiring that a building provide a Shopfront at sidewalk level along the entire length of the Frontage. The Shopfront shall be no less than 70% glazed in clear glass and provided with an awning overlapping the sidewalk as generally illustrated in Table 7. The first floor shall be confined to Retail use through the depth of the Second Layer. (See Table 16D)
  - c. A designation for mandatory or recommended Gallery Frontage, requiring that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery Frontage may be combined with a Retail Frontage as shown in Table 7.
  - d. A designation of Coordinated Streetscape Frontage, requiring that the Public and Private Frontages be coordinated as a single, coherent landscape and paving design.
  - e. A designation of Terminated Vista location, requiring that the building be provided with architectural articulation of a Type and character that responds to the location as approved by the CRC.
  - f. A designation for Cross Block Passages, requiring a minimum 8-foot-wide pedestrian access be reserved between buildings.
  - g. [Reserved]

**4.1 INSTRUCTIONS**

4.1.1 [Reserved]

4.1.2 Infill Community Plans shall be prepared in a process of public consultation and approved by the Town Council. The requirements of such plans are mandatory.

4.1.3 For any infill site greater than 40 acres, the owner or developer may initiate the preparation of a New Community Plan subject to the provisions of Article 3 (other than the minimum acreage requirements).

4.1.4 [Reserved]

4.1.5 An Infill Community Plan shall identify, assign and follow the requirements of the Community Types described in Section 4.3.

4.1.6 An Infill Community Plan shall assign Transect Zones and Civic Functions within each Community Type as described in Sections 4.3 and 4.4 with detailed provisions for site and building development as described in Article 5.

4.1.7 Infill Community Plans shall consist of two maps: The first showing the Downtowns, the Neighborhoods and the Districts with their various Transect Zones; and the second assigning the Special Requirements as provided in Section 4.5.

4.1.8 [Reserved]

**4.2 TRANSECT ZONES**

4.2.1 Infill Community Plans shall consist of Neighborhoods (Urban TNDs) and/or Downtowns (Town Centers) composed of Transect Zones as described in Tables 1 and 14.

**4.3 COMMUNITY TYPES**

Infill Community Plans shall be based on conserving, completing or creating Transect-based urban structure.

**4.3.1 Neighborhoods (Urban TND)**

Neighborhoods shall be urbanized areas of at least 40 contiguous acres that are primarily Residential. A Neighborhood shall be based upon a partial or entire Standard Pedestrian Shed. The physical center of the Neighborhood should be located at an important traffic intersection associated with a Civic or Commercial institution. The edges of the Neighborhood should blend into an adjacent Neighborhood or Downtown without buffer. A Neighborhood plan shall meet the requirements for a TND as set forth in Table 14.

**4.3.2 Downtowns (Town Center)**

a. Downtowns shall be urbanized areas that are primarily mixed-use. A Downtown shall be defined by a Long Pedestrian Shed, oriented around an important Commercial corridor. Downtowns should be the location of large Commercial and Retail uses as well as government and other Civic institutions of regional importance. The edges of a Downtown should blend into adjacent Neighborhoods without buffer. A Downtown plan shall meet the requirements for an RCD as set forth in Table 14.

**4.3.3 Special Districts (SD)**

a. Special Districts shall be areas dedicated for certain uses that by virtue of size or Function cannot meet the requirements for any Transect Zone or combination of Zones.

**4.4 CIVIC FUNCTIONS****4.4.1 General**

- a. Infill Community Plans shall designate Civic Functions as Civic Space (CS) and Civic Buildings (CB).
- b. Civic Functions may be Warranted so long as they do not occupy more than a total of 20% of the area of each Pedestrian Shed. A Civic Function requiring more than 20% of the Pedestrian Shed shall be subject to the creation of a Special District with its own standards.
- c. Parking for Civic Functions shall be determined by Warrant.

**4.4.2 Civic Space (CS)**

- a. Civic Spaces may be approved by Warrant in any Transect Zone.
- b. Civic Spaces shall be generally designed as described in Table 13.

**4.4.3 Civic Building (CB)**

- a. Civic Buildings may be approved by Warrant in any Transect Zone on sites reserved for Civic Buildings.
- b. Civic Buildings shall not be subject to the Requirements of Article 5. The particulars of their design shall be determined by Variance.

**4.5 SPECIAL REQUIREMENTS****4.5.1** An Infill Community Plan shall designate the following special requirements:

- a. A differentiation of the Thoroughfares as a Primary-Grid (P-Grid) and a Secondary-Grid (S-Grid). Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Warrants and Variances allowing automobile-oriented standards. The Frontages assigned to the S-Grid shall not exceed 30% of the total length within a Pedestrian Shed.
- b. A designation for mandatory or recommended Retail Frontage requiring that a building provide a shopfront at sidewalk level along the entire length of the Frontage. The shopfront shall be no less than 70% glazed in clear glass and provided with an awning overlapping the sidewalk as generally illustrated in Table 7. The first floor shall be confined to retail use through the depth of the First Layer.
- c. A designation for mandatory or recommended Gallery Frontage, requiring that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery Frontage may be combined with a Retail Frontage as shown in Table 7.
- d. A designation of Coordinated Streetscape Frontage, requiring that the Public and Private Frontages be coordinated as a single, coherent landscape and paving design.
- e. A designation of Terminated Vista location, requiring that the building be provided with architectural articulation of a type and character that responds to the location as approved by the CRC.
- f. A designation for Cross Block Passages, requiring a minimum 8-foot-wide pedestrian access be reserved between certain buildings.
- g. [Reserved]

**4.6 PRE-EXISTING CONDITIONS**

- 4.6.1 Existing buildings that do not conform to the provisions of this Code may continue in use as they are until a Substantial Modification is requested, at which time the CRC shall determine the provisions of this section that shall apply.
- 4.6.2 Existing buildings that when renovated have at any time received a certificate of occupancy shall not require upgrade to the current Town of Elmore Building Code and may meet the standards of the code under which they were originally permitted.
- 4.6.3 The modification of existing buildings is permitted By Right if such changes result in greater conformance with the specifications of this section.
- 4.6.4 [Reserved]
- 4.6.5 [Reserved]
- 4.6.6 The restoration or rehabilitation of an existing building shall not require the provision of (a) parking in addition to that existing or (b) on-site stormwater retention/detention in addition to that existing, except to the extent required by applicable state or federal law.

**5.1 INSTRUCTIONS**

- 5.1.1 Lots and buildings located within a Community Plan subject to this Code shall be subject to the requirements of this Article.
- 5.1.2 A landowner or a developer may have Building Plans prepared on their behalf.
- 5.1.3 [Reserved]
- 5.1.4 The requirements described in this Article shall control the Building Disposition, Building Configuration and Building Function, as well as their architectural, landscape, parking, signage, and ambient standards.
- 5.1.5 Building Plans submitted under this Article shall set forth the following, in compliance with the standards described in this Article:
- a. For preliminary site and building approval:
    - Building Disposition
    - Building Configuration
    - Building Function
    - Parking Standards
  - b. For final approval, in addition to the above:
    - Architectural Standards
    - Landscape Standards
    - Signage Standards
    - Ambient Standards
    - Special Requirements set forth in Section 5.8

**5.2 SPECIFIC TO NATURAL AND RURAL TRANSECT ZONES (T1 & T2)**

The following shall be applicable to Zones T1 and T2:

- 5.2.1 Buildings in the T1 Zone are permitted only by Variance and in the T2 Zone by Warrant. Permission to build in T1 and the standards for Building Disposition, Building Configuration, Building Function, parking, architectural, signage, and ambient shall be determined concurrently as Variances, in public hearing of the Board of Zoning Appeals.

**5.3 SPECIFIC TO SUB-URBAN TRANSECT ZONE (T3)****5.3.1 Building Disposition (T3)**

- a. Newly platted lots shall be dimensioned according to Section 5.4.11
- b. Buildings shall be disposed in relation to the boundaries of their lots according to Section 5.4.11
- c. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in Table 16C.
- d. Lot coverage by building shall not exceed that shown in Section 5.4.11.
- e. Facades shall be built parallel to a rectilinear Principal Frontage Line or parallel to the tangent of a curved Principal Frontage Line.
- f. Setbacks for Principal Buildings shall be as shown in Table 14G. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Warrant.
- g. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from

the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Section 5.4.11.

- h. Building Types shall be as shown in Table 9.
- i. [Reserved]

#### 5.3.2 Building Configuration (T3)

- a. Private Frontage types shall conform to and be allocated in accordance with Table 7 and Section 5.3.11.
- b. [Reserved]
- c. [Reserved]
- d. Building Heights shall conform to Table 8 and be as shown in Section 5.4.11.
- e. [Reserved]

#### 5.3.3 Building Function & Density (T3)

- a. Buildings in each Transect Zone shall conform to the Functions described in Table 10 and 11 and Section 5.3.11. Functions that do not conform to the requirements of Tables 10 and 11 shall require approval by Warrant.
- b. The Actual Parking available to meet the Required Parking shown on Table 12 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 5.3.3c and 5.3.3d.
- c. The Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions within any pair of adjacent Blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 12). The result shall be the Effective Parking available for calculating an Adjusted Density. Conversely: The Effective Parking required is the sum of the Required Parking divided by the Sharing Factor.
- d. [Reserved]

#### 5.3.4 Parking Standards (T3)

- a. Vehicular parking shall be required and adjusted for mixed-use as shown in Tables 11 and 12.
- b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
- c. Maximum parking ratios may be established by the CRC.
- d. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.
- e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 5.3.5b.
- f. Open parking areas shall be located at the Second and Third Lot Layers, as shown in Table 16D, except that Driveway aprons and drop-offs may be located at the First Layer. Garages shall be located at the Third Layer.
- g. The required parking may be provided within one-quarter mile of the site that it serves.
- h. [Reserved]
- i. [Reserved]

- j. [Reserved]
- k. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the Frontage by Warrant (see Section 5.8.1a).

#### 5.3.5 **Architectural Standards (T3)**

- a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter.
- b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
- d. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
- e. [Reserved]
- f. Doors and windows that operate as sliders are prohibited along Frontages.
- g. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12.
- h. The exterior finish material on all Facades shall be limited to brick, wood siding, cementitious siding and/or stucco.
- i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC.
- j. Balconies and porches shall be made of painted wood.
- k. Fences, if provided at the First Layer, shall be painted. Fences at Lot Lines may be of wood board or chain link.

5.3.6 [Reserved]

#### 5.3.7 **Landscape Standards (T3)**

- a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 16D.
- b. [Reserved]
- c. [Reserved]
- d. Trees shall be of various species, naturalistically clustered, with an understory stall below for maintenance. Lawn shall be permitted by Warrant.

#### 5.3.8 **Signage Standards (T3)**

- a. One address number no more than 6 inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
- b. One blade sign for each business may be permanently installed perpendicular to the Facade. Such a sign shall not exceed a total of 4 square feet.
- c. [Reserved]
- d. There shall be no signage permitted additional to that specified in this section.
- e. Signage shall not be lit.

#### 5.3.9 **Ambient Standards (T3)**

- a. Sound levels measured at the building Frontage shall not exceed 65 decibels

from sunrise to sunset and 55 decibels from sunset to sunrise.

- b. Average lighting levels measured at the building Frontage shall not exceed 1.0 fc (foot-candles).
- c. Streetlights shall be of a general type illustrated in Table 5.
- d. Outdoor storage shall be screened from view from any Frontage by a Streetscreen in conformance with Section 5.3.5b.

5.3.10 [Reserved]

**SMARTCODE**

**ARTICLE 5. BUILDING SCALE PLANS**

Elmore, Alabama

SECTION 5.3.11

**T3**



**BUILDING FUNCTION** (see Tables 10 & 11)

a. Residential	restricted use
b. Lodging	restricted use
c. Office	restricted use
d. Retail	restricted use

**BUILDING HEIGHT** (see Table 8)

a. Principal Building	3 stories max.
b. Outbuilding	2 stories max.

**LOT OCCUPATION**

a. Lot Width	72 ft. min 120 ft. max
b. Lot Coverage	60% max

**BUILDING TYPE** (see Table 9)

a. Edgeyard	permitted
b. Sideyard	prohibited
c. Rearyard	prohibited
d. Courtyard	prohibited

**BUILDING DISPOSITION**

a. Front Setback	24 ft. min.
b. Side Setback	12 ft. min.
c. Rear Setback	12 ft. min.
d. Frontage Buildout	

**OUTBUILDING DISPOSITION**

a. Front Setback	20 ft. min.
b. Side Setback	3 ft. or 6 ft
c. Rear Setback	3 ft. or 23 ft.

**PRIVATE FRONTAGES** (see Table 7)

a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	prohibited
d. Forecourt	prohibited
e. Stoop	prohibited
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

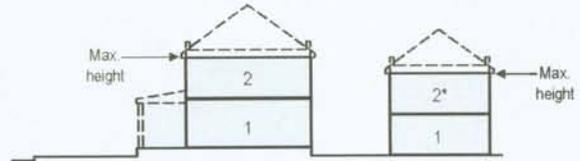
Refer to Summary Table 14

**PRIVATE PROVISIONS**

See Tables 11 & 12

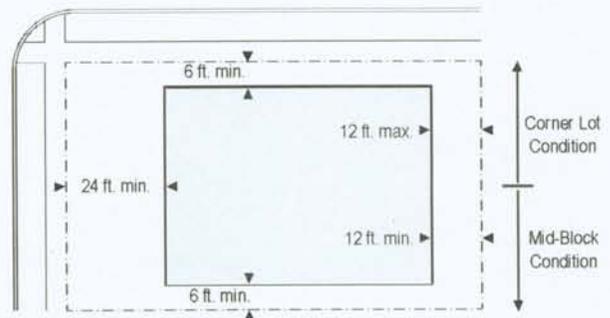
**BUILDING HEIGHT**

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



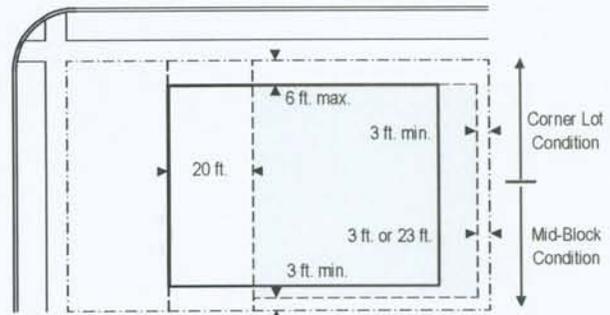
**BUILDING DISPOSITION**

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to a minimum of 50% of its width of the principal frontage.



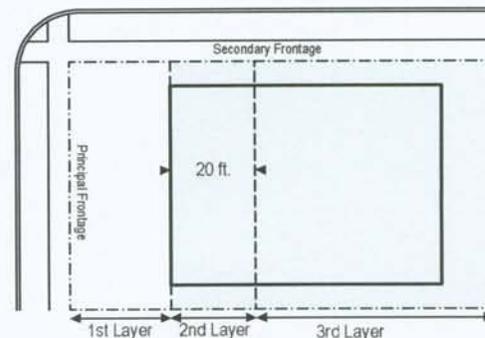
**OUTBUILDING DISPOSITION**

1. The elevation of the out buildings shall be distanced from the lot lines as shown.



**PARKING PLACEMENT**

1. Uncovered parking spaces may be provided within the 2nd and 3rd Layer as shown in the diagram (see Table 16D).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 16D).
3. Trash containers shall be stored within the 3rd Layer.



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**SMARTCODE**

Elmore, Alabama

**5.4 SPECIFIC TO GENERAL URBAN TRANSECT ZONES (T4)****5.4.1 Building Disposition (T4)**

- a. Newly platted lots shall be dimensioned according to Section 5.4.11
- b. Buildings shall be disposed in relation to the boundaries of their lots according to Section 5.4.11
- c. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in Table 16C.
- d. Lot coverage by building shall not exceed that shown in Section 5.4.11.
- e. Facades shall be built parallel to a rectilinear Principal Frontage Line or parallel to the tangent of a curved Principal Frontage Line.
- f. Setbacks for Principal Buildings shall be as shown in Table 14G. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Warrant.
- g. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Section 5.4.11.
- h. Building Types shall be as shown in Table 9.
- i. A minimum Residential housing mix of three Types (none less than 20%) shall be required in the General Urban Zone, selected from Table 9.

**5.4.2 Building Configuration (T4)**

- a. Private Frontage types shall conform to and be allocated in accordance with Table 7 and Section 5.4.11.
- b. Awnings may encroach the public sidewalk without limit. Stoops may encroach 100% of the depth of a Setback. Open porches and awnings may encroach up to 50% of the depth of the Setback. Balconies and bay windows may encroach up to 25% of the depth of the Setback.
- c. Loading docks and service areas shall be permitted on Frontages only by Warrant.
- d. Building Heights shall conform to Table 8 and be as shown in Section 5.4.11.

**5.4.3 Building Function & Density (T4)**

- a. Buildings in each Transect Zone shall conform to the Functions described in Tables 10 and 11 and Section 5.4.11. Functions that do not conform to the requirements of Tables 10 or 11 shall require approval by Warrant.
- b. The Actual Parking available to meet the Required Parking shown on Table 12 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 5.4.3 c and 5.4.3 d.
- c. The Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions within any pair of adjacent Blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 12). The result shall be the Effective Parking available for calculating an Adjusted Density. Conversely: The Effective Parking required is the sum of the Required Parking divided by the Sharing Factor.
- d. [Reserved]
- e. Accessory uses of Limited Lodging or Limited Office shall be permitted within an Outbuilding.

**5.4.4 Parking Standards (T4)**

- a. Vehicular parking shall be required as shown in Tables 11 and 12.
- b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
- c. Maximum Parking ratios may be established by the CRC.
- d. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.
- e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 5.4.5b.
- f. All parking areas except for Driveways shall be located at the Third Layer as illustrated in Table 16D. Garages shall be at the Third Layer.
- g. The required parking may be provided within one-quarter mile of the site that it serves.
- h. [Reserved]
- i. [Reserved]
- j. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
- k. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the Frontage by Warrant (see Section 5.8.1a).

**5.4.5 Architectural Standards (T4)**

- a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter.
- b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
- d. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
- e. [Reserved]
- f. Doors and windows that operate as sliders are prohibited along Frontages.
- g. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12.
- h. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC.
- i. The exterior finish material on all Facades shall be limited to brick, wood siding, fiber-cement siding and/or stucco.
- j. Balconies and porches shall be made of painted wood or metal.
- k. Fences, if provided within the First Lot Layer shall be painted. Fences at other Layers may be of wood board or chain link.

5.4.6 [Reserved]

**5.4.7 Landscape Standards (T4)**

- a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 16D.
  - b. [Reserved]
  - c. [Reserved]
  - d. Trees of species matching the planting on the Public Frontage as shown in Table 4. Lawn shall be permitted.
- 5.4.8 **Signage Standards (T4)**
- a. One address number no more than 6 inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
  - b. One blade sign for each business may be permanently installed perpendicular to the Facade. Such a sign shall not exceed a total of 4 square feet.
  - c. [Reserved]
  - d. There shall be no signage permitted additional to that specified in this section.
- 5.4.9 **Ambient Standards (T4)**
- a. Sound levels measured at the building Frontage shall not exceed 65 decibels from sunrise to sunset and 55 decibels from sunset to sunrise.
  - b. Average lighting levels measured at the building Frontage shall not exceed 2.0 fc (foot-candles).
  - c. Streetlights shall be of a general type illustrated in Table 5.
  - d. Outdoor storage shall be screened from view from any Frontage by a Streetscreen in conformance with Section 5.4.5b.
- 5.4.10 [Reserved]

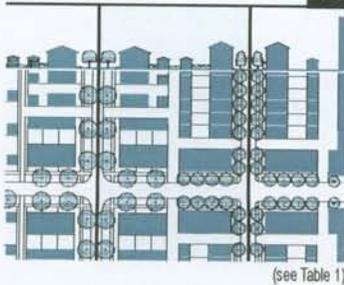
**SMARTCODE**

Elmore, Alabama

**ARTICLE 5. BUILDING SCALE PLANS**

**SECTION 5.4.11**

**T4**



(see Table 1)

**BUILDING FUNCTION** (see Tables 10 & 11)

a. Residential	limited use
b. Lodging	limited use
c. Office	limited use
d. Retail	limited use

**BUILDING HEIGHT** (see Table 8)

a. Principal Building	4 stories max, 2 min
b. Outbuilding	2 stories max.

**LOT OCCUPATION**

a. Lot Width	18 ft min 96 ft max
b. Lot Coverage	70% max

**BUILDING TYPE** (see Table 9)

a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited

**BUILDING DISPOSITION**

a. Front Setback	6 ft. min. 18 ft. max.
b. Side Setback	0 ft. combined min.
c. Rear Setback	3 ft. min.*
d. Frontage Buildout	

**OUTBUILDING DISPOSITION**

a. Front Setback	20 ft. min. + bldg. setback
b. Side Setback	0 ft. min. or 3 ft.
c. Rear Setback	3 ft.* or 23 ft.

**PRIVATE FRONTAGES** (see Table 7)

a. Common Lawn	prohibited
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	prohibited

Refer to Summary Table 14

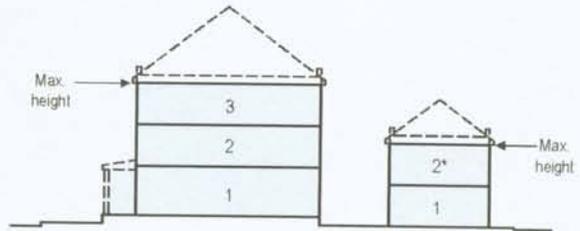
**PARKING PROVISIONS**

See Tables 11 & 12

\* or 15 ft. from center line of alley

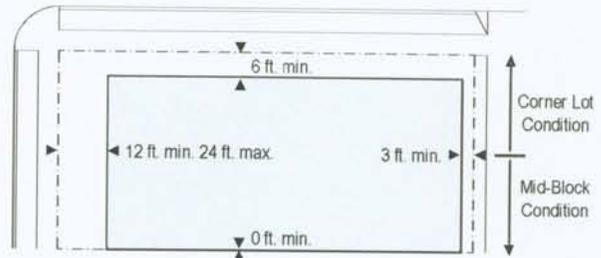
**BUILDING HEIGHT**

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



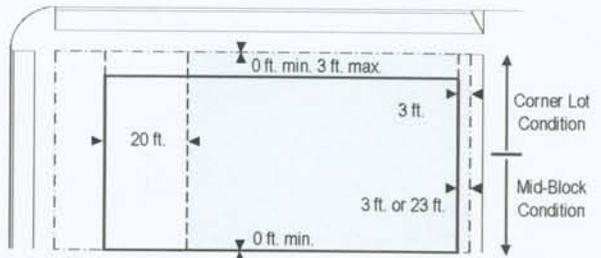
**BUILDING DISPOSITION**

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Buildings shall have facades along principal frontage lines and elevations along lot lines. (see Table 16E).



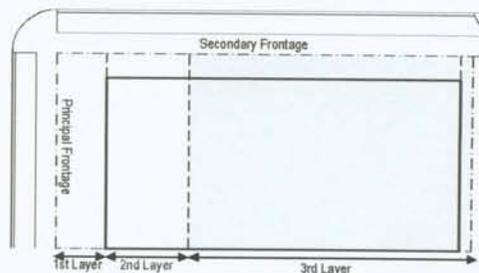
**OUTBUILDING PLACEMENT**

1. The elevations of the out buildings shall be distances from the lot lines as shown.



**PARKING PROVISIONS**

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 16D).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 16D).
3. Trash containers shall be stored within the 3rd Layer.



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- 5.5 **SPECIFIC TO URBAN CENTER TRANSECT ZONES (T5)**
- 5.5.1 **Building Disposition (T5)**
- a. Newly platted lots shall be dimensioned according to Section 5.5.11
  - b. Buildings shall be disposed in relation to the boundaries of their lots according to Section 5.5.11
  - c. One principal building at the Frontage, and one outbuilding to the rear of the principal building, may be built on each lot as shown in Table 16C.
  - d. Lot coverage by building shall not exceed that shown in Section 5.5.11.
  - e. Facades shall be built parallel to the Principal Frontage Line along a minimum of 70% of its length on the Setback shown in Section 5.5.11. In the absence of a building along the remainder of the Frontage Line, a Streetscreen shall be built co-planar with the Facade.
  - f. Setbacks for Principal Buildings shall be as shown in Table 14G. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Warrant.
  - g. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Section 5.5.11.
  - h. Building Types shall be as shown in Table 9.
  - i. [Reserved]
  - j. Buildings shall have their principal pedestrian entrances on a Frontage Line.
- 5.5.2 **Building Configuration (T5)**
- a. Private Frontage types shall conform to and be allocated in accordance with Table 7 and Section 5.5.11.
  - b. Awnings may encroach the public sidewalk without limit. Stoops may encroach 100% of the depth of a Setback. Open porches and awnings may encroach up to 50% of the depth of the Setback. Balconies and bay windows may encroach up to 25% of the depth of the Setback.
  - c. Loading docks and service areas shall be permitted on Frontages only by Warrant.
  - d. Building Heights shall conform to Table 8 and be as shown in Section 5.5.11.
  - e. A first level Residential or Lodging Function shall be raised a minimum of 2 feet from average sidewalk grade.
- 5.5.3 **Building Function & Density (T5)**
- a. Buildings in each Transect Zone shall conform to the Functions described in Tables 10 and 11 and Section 5.5.11. Functions that do not conform to the requirements of Tables 10 or 11 shall require approval by Warrant.
  - b. The Actual Parking available to meet the Required Parking shown on Table 12 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 5.5.3 c and 5.5.3 d.
  - c. The Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions within any pair of adjacent Blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 12). The result shall be the Effective Parking available for calculating an Adjusted Density. Conversely: The Effective Parking required is the sum of the Required Parking divided by the Sharing Factor.
  - d. [Reserved]
  - e. Accessory uses of Limited Lodging or Limited Office shall be permitted within an outbuilding.

**SMARTCODE**

Elmore, Alabama

**ARTICLE 5. BUILDING SCALE PLANS**

- f. First Story Commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.
- g. Manufacturing within the first Story may be permitted only by Variance.

**5.5.4 Parking Standards (T5)**

- a. Vehicular parking shall be required as shown in Tables 11 and 12.
- b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
- c. Maximum Parking ratios may be established by the CRC.
- d. Parking shall be accessed by the Alley or Rear Lane when such is available in the Community Plan.
- e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 5.5.5b.
- f. All parking areas shall be located at the Third Lot Layer.
- g. The required parking may be provided within one-quarter mile of the site that it serves, subject to approval by Variance.
- h. The vehicular entrance of a parking lot or garage on a Frontage shall be no wider than 30 feet.
- i. Pedestrian entrances to all parking lots and parking structures shall be directly from a Frontage Line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.
- j. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
- k. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the Frontage by Warrant (see Section 5.8.1a).

**5.5.5 Architectural Standards (T5)**

- a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter.
- b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
- d. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
- e. The Facades on Retail Frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story.
- f. Doors and windows that operate as sliders are prohibited along Frontages.
- g. Buildings may have flat roofs enclosed by parapets or sloped roofs. Pitched roofs shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:12.
- h. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC.
- i. The exterior finish materials on all Facades shall be limited to stone, brick and/or stucco.
- j. Balconies, galleries and arcades shall be made of concrete, painted wood or metal.
- k. Streetscreens shall be located coplanar with the building Facade line as shown in Table 16D.

**5.5.6 [Reserved]**

**5.5.7 Landscape Standards (T5)**

- a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 16D.
- b. [Reserved]
- c. The First Layer as shown in Table 16D shall be landscaped or paved to match the enfronting Public Frontage as shown in Table 4.
- d. Trees shall be a species with shade canopies that, at maturity, begin higher than the top of the second Story of buildings.

**5.5.8 Signage Standards (T5)**

- a. One address number no more than 6 inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
- b. Blade signs, not to exceed 6 square ft. for each separate business entrance, may be attached perpendicular to the Facade.
- c. [Reserved]
- d. A single external sign band may be applied to the Facade of each building, providing that such sign not exceed 3 feet in height by any length.
- e. Signage shall be externally lit, except that signage within the shopfront glazing may be neon lit.

**5.5.9 Ambient Standards (T5)**

- a. Sound levels measured at the building Frontage shall not exceed 70 decibels from sunrise to midnight and 60 decibels from midnight to sunrise.
- b. Average lighting levels measured at the building Frontage shall not exceed 5.0 fc (foot-candles).
- c. Streetlights shall be of a general type illustrated in Table 5.
- d. Outdoor storage shall be screened from view from any Frontage by a Streetscreen in conformance with Section 5.5.5b.

**5.5.10 [Reserved]**

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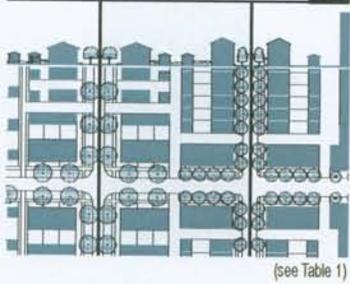
**SMARTCODE**

**ARTICLE 5. BUILDING SCALE PLANS**

Elmore, Alabama

**SECTION 5.5.11**

**T5**



(see Table 1)

**BUILDING FUNCTION** (see Tables 10 & 11)

a. Residential	open use
b. Lodging	open use
c. Office	open use
d. Retail	open use

**BUILDING HEIGHT** (see Table 8)

a. Principal Building	6 stories max. 2 min.
b. Outbuilding	2 stories max.

**LOT OCCUPATION**

a. Lot Width	18 ft min 180 ft max
b. Lot Coverage	80% max

**BUILDING TYPE** (see Table 9)

a. Edgeyard	prohibited
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	permitted

**BUILDING DISPOSITION**

a. Front Setback	0 ft. min. 12 ft. max.
b. Side Setback	0 ft. min. 24 ft. max.
c. Rear Setback	3 ft. min.*
d. Frontage Buildout	70% min at setback

**OUTBUILDING DISPOSITION**

a. Front Setback	40 ft. max. from rear prop.
b. Side Setback	0 ft. min.*
c. Rear Setback	3 ft. max.

**PRIVATE FRONTAGES** (see Table 7)

a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	permitted

Refer to Summary Table 14

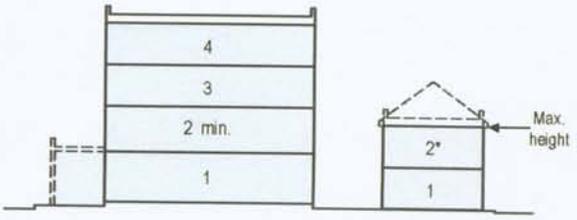
**PARKING PROVISIONS**

See Tables 11 & 12

\* or 15 ft. from center line of alley

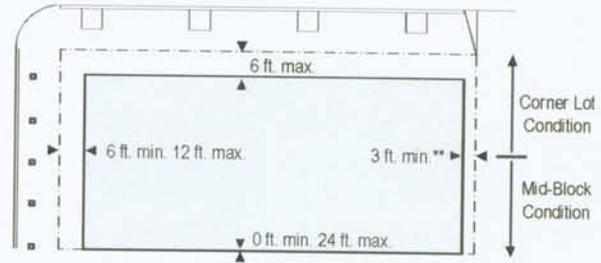
**BUILDING HEIGHT**

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



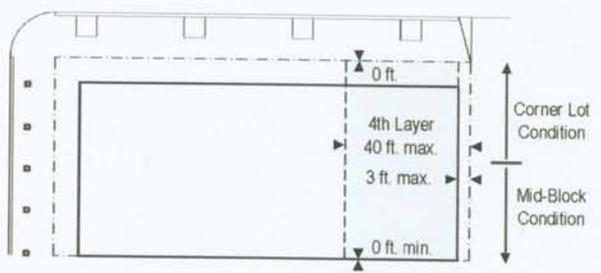
**BUILDING DISPOSITION**

1. The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.
2. Buildings shall have facades along the principal frontage lines and elevations along lot lines (see Table 16E).



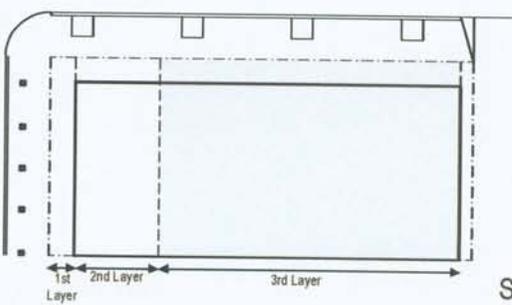
**OUTBUILDING DISPOSITION**

1. The elevations of the out buildings shall be distances from the lot lines as shown.



**PARKING PROVISIONS**

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 16D).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 16D).
3. Trash containers shall be stored within the 3rd Layer as shown in the diagram (see Table 16D).



5.6 **SPECIFIC TO URBAN CORE TRANSECT ZONES (T6)**5.6.1 **Building Disposition (T6)**

- a. Newly platted lots shall be dimensioned according to Section 5.6.11.
- b. Buildings shall be disposed in relation to the boundaries of their lots according to Section 5.6.11.
- c. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in Table 16C.
- d. Lot coverage by building shall not exceed that shown in Section 5.6.11.
- e. Facades shall be built parallel to the Principal Frontage Line along a minimum of 80% of its length on the Setback shown in Section 5.6.11. In the absence of building along the remainder of the Frontage Line, a streetscreen shall be built co-planar with the Facade.
- f. Setbacks for Principal Buildings shall be as shown in Table 14G. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Warrant.
- g. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Section 5.6.11.
- h. Building Types shall be as shown in Table 9.
- i. [Reserved]
- j. Buildings shall have their principal pedestrian entrances on a Frontage Line.

5.6.2 **Building Configuration (T6)**

- a. Private Frontage types shall conform to and be allocated in accordance with Table 7 and Section 5.6.11.
- b. Awnings may encroach the public sidewalk without limit. Stoops may encroach 100% of the depth of a Setback. Open porches and awnings may encroach up to 50% of the depth of the Setback. Balconies and bay windows may encroach up to 25% of the depth of the Setback.
- c. Loading docks and service areas shall be permitted on Frontages only by Warrant.
- d. Building Heights shall conform to Table 8 and be allocated as required in Section 5.6.11.
- e. A first level Residential Function or Lodging Function shall be raised a minimum of 2 feet from average sidewalk grade.

5.6.3 **Building Function & Density (T6)**

- a. Buildings in each Transect Zone shall conform to the Functions described in Tables 10 and 11 and Section 5.6.11. Functions that do not conform to the requirements of Tables 10 or 11 shall require approval by Warrant.
- b. The Actual Parking available to meet the Required Parking shown on Table 12 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 5.6.3c and 5.6.3d.
- c. The Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions within any pair of adjacent Blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 12). The result shall be the Effective Parking available for calculating an Adjusted Density. Conversely: The Effective Parking required is the sum of the Required Parking divided by the Sharing Factor.

- d. Within the Long Pedestrian Shed of a TOD, the Effective Parking available for calculating the intensity on each lot may be increased by a multiplier of thirty percent (30%).
  - e. Ground floor Commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.
  - f. [Reserved]
  - g. Manufacturing within the first story shall be permitted by Variance.
- 5.6.4 **Parking Standards (T6)**
- a. Vehicular parking shall be required as shown in Tables 11 and 12.
  - b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
  - c. Maximum Parking ratios may be established by the CRC.
  - d. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.
  - e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 5.6.5b.
  - f. All parking areas shall be located at the Third Lot Layer.
  - g. The required parking may be provided within one-quarter mile of the site that it serves, subject to approval by Variance.
  - h. The vehicular entrance of a parking lot or garage on a Frontage shall be no wider than 30 feet.
  - i. Pedestrian entrances to all parking lots and parking structures shall be directly from a Frontage Line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.
  - j. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
  - k. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the Frontage by Warrant (see Section 5.8.1a).
- 5.6.5 **Architectural Standards (T6)**
- a. Building wall materials may be combined on each Facade only horizontally, with the heavier below the lighter.
  - b. Streetscreens should be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or fence by Warrant. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
  - c. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
  - d. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
  - e. The Facades on Retail Frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story.
  - f. Doors and windows that operate as sliders are prohibited along Frontages.
  - g. Buildings may have flat roofs enclosed by parapets, or sloped roofs. Pitched roofs shall be symmetrically sloped no less than 5:12, except that porches and attached sheds may be no less than 2:15.
  - h. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC.
  - i. The exterior finish materials on all Facades shall be limited to stone, brick and/or

stucco.

j. Balconies, galleries and arcades shall be made of concrete, painted wood or metal.

k. Streetscreens shall be located coplanar with the Facades as shown in Table 16C.

5.6.6 [Reserved]

5.6.7 **Landscape Standards (T6)**

a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 16D.

b. [Reserved]

c. The First Layer as shown in Tables 4, 7, and 17D shall be landscaped or paved to match the Public Frontage as shown in Table 6.

d. Trees shall be a species with shade canopies that, at maturity, begin higher than the top of the second Story of buildings.

e. Trees shall not be required in the First Layer (Table 16D).

5.6.8 **Signage Standards (T6)**

a. One address number no more than 6 inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.

b. Blade signs, not to exceed 6 square feet for each separate business entrance, may be attached perpendicular to the Facade.

c. [Reserved]

d. A single external sign band may be applied to the Facade of each building, provided that such sign does not exceed 3 feet in height by any length.

e. Signage shall be externally lit, except that signage within the shopfront glazing may be neon lit.

5.6.9 **Ambient Standards (T6)**

a. Sound levels measured at the building Frontage shall not exceed 70 decibels from sunrise to midnight and 60 decibels from midnight to sunrise.

b. Average lighting levels measured at the building Frontage shall not exceed 20 fc (foot-candles).

c. Streetlights shall be of a general type illustrated in Table 5.

d. Outdoor storage shall be screened from view from any Frontage by a Streetscreen in conformance with Section 5.6.5b.

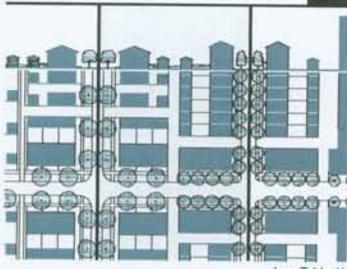
**SMARTCODE**

Elmore, Alabama

**ARTICLE 5. BUILDING SCALE PLANS**

**SECTION 5.6.11**

**T6**



**12.K BUILDING FUNCTION** (see Tables 10 & 11)

a. Residential	open use
b. Lodging	open use
c. Office	open use
d. Retail	open use

**12.J BUILDING HEIGHT** (see Table 8)

a. Principal Building	12 stories max. 2 min.
b. Outbuilding	N/A

**12.F LOT OCCUPATION**

a. Lot Width	18 ft. min 700 ft. max
b. Lot Coverage	90% max

**12.H BUILDING TYPE** (see Table 9)

a. Edgeyard	prohibited
b. Sideyard	prohibited
c. Rearyard	permitted
d. Courtyard	permitted

**12.G BUILDING DISPOSITION**

a. Front <b>Setback</b>	0 ft. min. 12 ft. max.
b. Side <b>Setback</b>	0 ft. min. 24 ft. max.
c. Rear <b>Setback</b>	0 ft. min.
d. Frontage Buildout	80% min. at setback

**OUTBUILDING DISPOSITION**

a. Front	N/A
b. Side	N/A
c. Rear	N/A

**12.I PRIVATE FRONTAGES** (see Table 7)

a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	prohibited
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	permitted

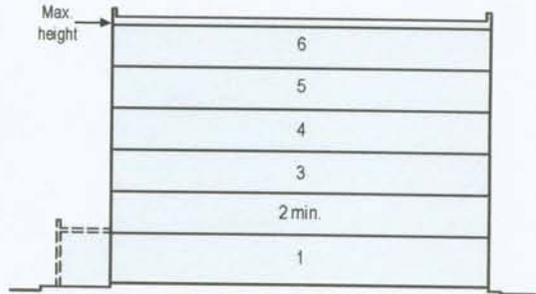
Refer to Summary Table 14

**PARKING PROVISIONS**

See Tables 11 & 12

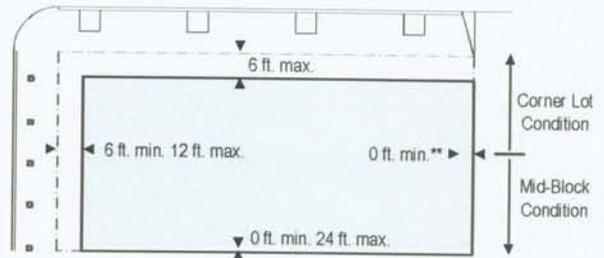
**BUILDING HEIGHT**

1. Building height shall be measured in number of stories, not including a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



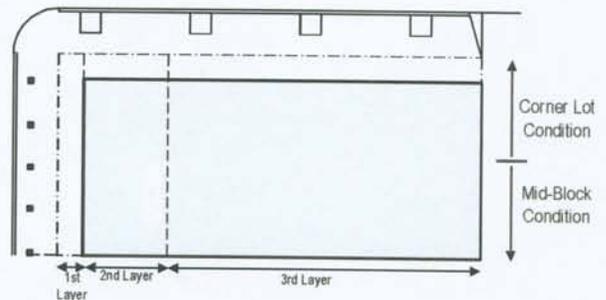
**BUILDING DISPOSITION**

1. The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.
2. Buildings shall have facades along frontage lines and elevations along lot lines (see Table 16.e).



**PARKING PROVISIONS**

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 16D).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 16D).
3. Trash containers shall be stored within the 3rd Layer as shown in the diagram (see Table 16D).



**5.7 CIVIC FUNCTIONS****5.7.1 General**

- a. Community Plans shall designate, or allow by variance, Civic Space (CS) and Civic Building (CB).
- b. Civic Functions may be Warranted so long as they do not occupy more than a total of 20% of the area of each Pedestrian Shed. A Civic Function requiring more than 20% of the Pedestrian Shed shall be subject to the creation of a Special District. (See Section 5.8)
- c. Parking for Civic Functions shall be determined by Warrant.

**5.7.2 Civic Space (CS)**

- a. Civic Spaces may be approved by Warrant in any Transect Zone.
- b. Civic Spaces shall be generally designed as described in Table 13.

**5.7.3 Civic Building (CB)**

- a. Civic Buildings shall be approved by Warrant in any Transect Zone, on sites reserved for them.
- b. Civic Buildings shall not be subject to the Requirements of the Building Scale Code. The particulars of their design shall be determined by Variance.

**5.8 SPECIAL REQUIREMENTS****5.8.1** A Building Plan shall designate the following special requirements:

- a. A differentiation of the Thoroughfares as a Primary-Grid (P-Grid) and a Secondary-Grid (S-Grid). Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Warrants and Variances allowing automobile-oriented standards. The Frontages assigned to the S-Grid shall not exceed 30% of the total length within a Pedestrian Shed.
- b. A designation for Mandatory or Recommended Retail Frontage requiring that a building provide a Shopfront at sidewalk level along the entire length of the Frontage. The Shopfront shall be no less than 70% glazed in clear glass and provided with an awning overlapping the sidewalk as generally illustrated in Table 7. The first floor shall be confined to Retail use through the depth of the First Layer.
- c. A designation for mandatory or recommended Gallery Frontage, requiring that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery Frontage may be combined with a Retail Frontage as shown in Table 7.
- d. A designation of Coordinated Streetscape Frontage, requiring that the Public and Private Frontages be coordinated as a single, coherent landscape and paving design.
- e. A designation of Terminated Vista location, requiring that the building be provided with architectural articulation of a type and character that responds to the location as approved by the CRC.
- f. A designation for Cross Block Passages, requiring a minimum 8-foot-wide pedestrian access be reserved between buildings.
- g. [Reserved]

**5.9 PRE-EXISTING CONDITIONS****5.9.1** Existing buildings that do not conform to the provisions of this Code may continue

- in use as they are until a Substantial Modification is requested, at which time the CRC shall determine the provisions of this section that shall apply.
- 5.9.2 Existing buildings that when renovated have at any time received a certificate of occupancy shall not require upgrade to the current Town of Elmore Building Code and may meet the standards of the code under which they were originally permitted.
- 5.9.3 The modification of existing buildings is permitted by right if such changes result in greater conformance with the specifications of this section or Article 4.
- 5.9.4 Where buildings exist on adjacent lots, the CRC may require that a proposed building match one or the other of the adjacent Setbacks and heights rather than the provisions of this Code.
- 5.9.5 [Reserved]
- 5.9.6 The restoration or rehabilitation of an existing building shall not require the provision of (a) parking in addition to that existing or (b) on-site stormwater retention/detention in addition to that existing, except to the extent required by applicable state or federal law.

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**TABLE 1 TRANSECT ZONE DESCRIPTIONS**

**TABLE 1: Transect Zone Descriptions.** This table provides a description of the character of each Transect Zone.

<p><b>T1</b> THE NATURAL ZONE consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.</p>	
<p><b>T2</b> THE RURAL ZONE consists of lands in open or cultivated state or sparsely settled. These include woodland, agricultural lands, grasslands and irrigable deserts.</p>	
<p><b>T3</b> THE SUB-URBAN ZONE, consists of low density suburban residential areas, differing by allowing home occupations. Planting is naturalistic with setbacks relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.</p>	
<p><b>T4</b> THE GENERAL URBAN ZONE consists of a mixed-use but primarily residential urban fabric. It has a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets typically define medium-sized blocks.</p>	
<p><b>T5</b> THE URBAN CENTER ZONE consists of higher density mixed-use building types that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the frontages.</p>	
<p><b>T6</b> THE URBAN CORE ZONE consists of the highest density, with the greatest variety of uses, and civic buildings of regional importance. It may have larger blocks; streets have steady street tree planting and buildings set close to the frontages.</p>	

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**TABLE 3A VEHICULAR LANE DIMENSIONS**

**TABLE 3A: Vehicular Lane Dimensions.** This table assigns the permitted lane widths to Transect Zones.

DESIGN SPEED	TRAVEL LANE WIDTH	T1	T2	T3	T4	T5	T6
Below 20 mph	8 feet	▪	▪	▪			
20-25 mph	9 feet	▪	▪	▪	▪		
25-35 mph	10 feet	▪	▪	▪	▪	▪	▪
25-35 mph	11 feet	▪	▪			▪	▪
Above 35 mph	12 feet	▪	▪			▪	▪

▪ BY RIGHT

DESIGN SPEED	PARKING LANE WIDTH	T1	T2	T3	T4	T5	T6
20-25 mph	(Angle) 18 feet					▪	▪
20-25 mph	(Parallel) 7 feet				▪		
25-35 mph	(Parallel) 8 feet			▪	▪	▪	▪
Above 35 mph	(Parallel) 9 feet					▪	▪

DESIGN SPEED	EFFECTIVE TURNING RADIUS	T1	T2	T3	T4	T5	T6
Below 20 mph	5-10 feet			▪	▪	▪	▪
20-25 mph	10-15 feet	▪	▪	▪	▪	▪	▪
25-35 mph	15-20 feet	▪	▪	▪	▪	▪	▪
Above 35 mph	20-30 feet	▪	▪				

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**TABLE 3B VEHICULAR LANE/PARKING ASSEMBLIES**

Elmore, Alabama

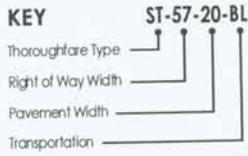
**TABLE 3B: Vehicular Lane/Parking Assemblies.** This table assigns the permitted Throughfares types by Transect Zone

	ONE WAY MOVEMENT			TWO WAY MOVEMENT							
a. NO PARKING	T1	T2	T3	T1	T2	T3	T1	T2	T1	T2	
	10'		8', 8'		9', 9'		11', 10', 11'		12', 12', 12', 12'		
	Design ADT	300 VPD		600 VPD		2,500 VPD		22,000 VPD		36,000 VPD	
	Pedestrian Crossing	3 Seconds		5 Seconds		5 Seconds		9 Seconds		13 Seconds	
Design Speed	20-30 MPH		Below 20 MPH		20-25 MPH				35 MPH and above		
b. YIELD PARKING	T3	T4		T3	T4						
	18'		26'								
Design ADT	1,000 VPD		1,000 VPD								
Pedestrian Crossing	5 Seconds		7 Seconds								
c. PARKING ONE SIDE PARALLEL	T3	T4	T3	T4	T5	T5	T6	T5	T6		
	7', 9'		8', 10', 10'		8', 10', 10'		8', 11', 11', 8'		9', 12', 12', 12', 12', 9'		
	Design ADT	5,000 VPD		18,000 VPD		16,000 VPD		15,000 VPD		32,000 VPD	
	Pedestrian Crossing	5 Seconds		8 Seconds		8 Seconds		11 Seconds		13 Seconds	
Design Speed	20-30 MPH		25-30 MPH		25-30 MPH		25-30 MPH		25-30 MPH		
d. PARKING BOTH SIDES PARALLEL	T4	T4	T5	T6	T4	T5	T6	T5	T6		
	7', 9', 7'		8', 10', 10', 8'		8', 10', 10', 8'		8', 10', 10', 8'		9', 12', 12', 12', 12', 9'		
	Design ADT	8,000 VPD		20,000 VPD		15,000 VPD		22,000 VPD		32,000 VPD	
	Pedestrian Crossing	7 Seconds		10 Seconds		10 Seconds		13 Seconds		15 Seconds	
Design Speed	Below 20 MPH		25-30 MPH		25-30 MPH		25-30 MPH		35 MPH and above		
e. PARKING BOTH SIDES DIAGONAL	T5	T6	T5	T6	T5	T6	T5	T6	T5	T6	
	18', 20', 18'		18', 24', 18'		18', 24', 18'		18', 12', 10', 12', 18'		18', 12', 10', 12', 18'		
	Design ADT	18,000 VPD		20,000 VPD		15,000 VPD		22,000 VPD		31,000 VPD	
	Pedestrian Crossing	15 Seconds		17 Seconds		17 Seconds		20 Seconds		23 Seconds	
Design Speed	Below 20 MPH		20-25 MPH		20-25 MPH		25-30 MPH		25-30 MPH		
f. PARKING ACCESS			T3	T4	T5	T6					
			12'		30'						
Design ADT											
Pedestrian Crossing			4 Seconds		8 Seconds						
Design Speed											

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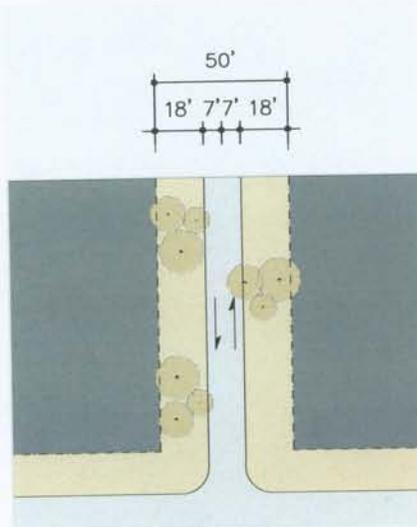
Elmore, Alabama

**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**



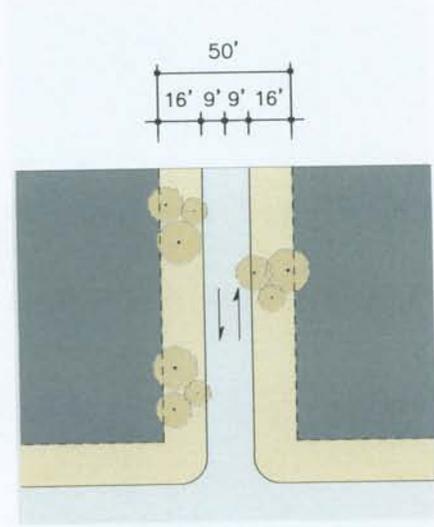
**THOROUGHFARE TYPES**

- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Street: ST
- Road: RD
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR



**RD-50-14**

Thoroughfare Type	Road
Transect Zone Assignment	T3, T2, T1
Right-of-Way Width	50 feet
Pavement Width	14 feet
Movement	Yield Movement
Design Speed	15 MPH
Pedestrian Crossing Time	4 seconds
Traffic Lanes	2 lanes
Parking Lanes	None
Curb Radius	25 feet
Public Frontage Type	Porch and Fence, Common Lawn
Walkway Type	Path optional
Planter Type	Continuous swale
Curb Type	Swale *
Landscape Type	Trees clustered at 30' o.c. Avg.
Transportation Provision	BT



**RD-50-18**

Thoroughfare Type	Road
Transect Zone Assignment	T3, T2, T1
Right-of-Way Width	50 feet
Pavement Width	18 feet
Movement	Slow Movement
Design Speed	15 MPH
Pedestrian Crossing Time	5 seconds
Traffic Lanes	2 lanes
Parking Lanes	None
Curb Radius	25 feet
Public Frontage Type	Porch and Fence, Common Lawn
Walkway Type	Path optional
Planter Type	Continuous swale
Curb Type	Swale *
Landscape Type	Trees clustered at 30' o.c. Avg.
Transportation Provision	BT

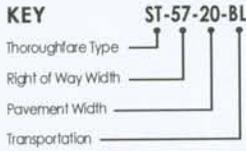
Thoroughfare Type	
Transect Zone Assignment	
Right-of-Way Width	
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
Public Frontage Type	
Walkway Type	
Planter Type	
Curb Type	
Landscape Type	
Transportation Provision	

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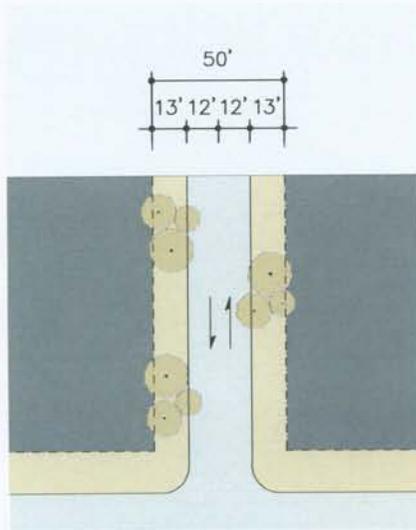
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**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**



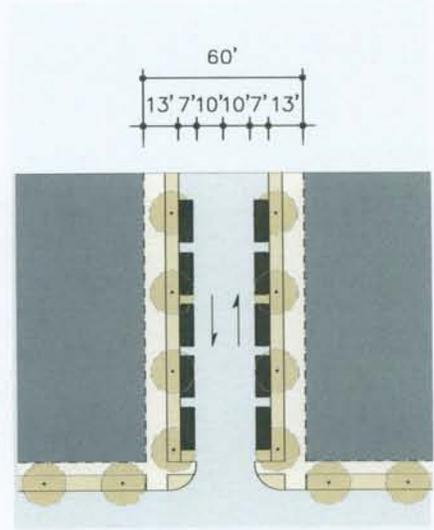
**THOROUGHFARE TYPES**

Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR



**RD-50-24**

Thoroughfare Type	Road
Transect Zone Assignment	T3, T2, T1
Right-of-Way Width	50 feet
Pavement Width	24 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	6.5 seconds
Traffic Lanes	2 lanes
Parking Lanes	None
Curb Radius	25 feet
Public Frontage Type	Porch and Fence, Common Lawn
Walkway Type	Path optional
Planter Type	Continuous swale
Curb Type	Swale *
Landscape Type	Trees clustered at 30' o.c. Avg.
Transportation Provision	BT



**ST-60-34**

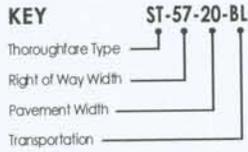
Thoroughfare Type	Street
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	60 feet
Pavement Width	34 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	5.5 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	ST, FC, DY/LC, PF
Walkway Type	6 foot Sidewalk
Planter Type	7 foot Continuous planter
Curb Type	Curb or Swale *
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR

Thoroughfare Type	
Transect Zone Assignment	
Right-of-Way Width	
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
Public Frontage Type	
Walkway Type	
Planter Type	
Curb Type	
Landscape Type	
Transportation Provision	

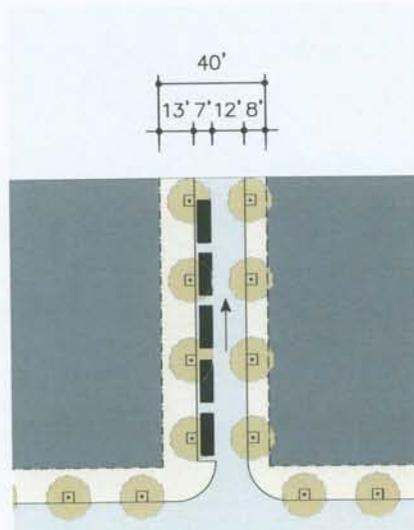
2006 - 81859

**SMARTCODE**  
Elmore, Alabama

**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**

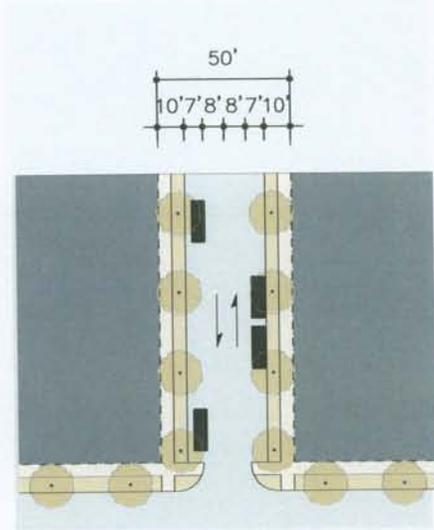


- THOROUGHFARE TYPES**
- Boulevard: BV
  - Avenue: AV
  - Commercial Street: CS
  - Street: ST
  - Road: RD
  - Rear Alley: RA
  - Rear Lane: RL
  - Bicycle Trail: BT
  - Bicycle Lane: BL
  - Bicycle Route: BR
  - Path: PT
  - Transit Route: TR



**ST-40-19**

Thoroughfare Type	Street
Transect Zone Assignment	T6, T5
Right-of-Way Width	40 feet
Pavement Width	19 feet
Movement	Yield Movement
Design Speed	25 MPH
Pedestrian Crossing Time	3.5 seconds
Traffic Lanes	1 lane
Parking Lanes	One Side @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	A/G, SF/AW, ST, DY/LC
Walkway Type	13 foot Sidewalk
Planter Type	4x4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	



**ST-50-30**

Thoroughfare Type	Street
Transect Zone Assignment	T4, T3
Right-of-Way Width	50 feet
Pavement Width	30 feet
Movement	Yield Movement
Design Speed	25 MPH
Pedestrian Crossing Time	4.5 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 feet unmarked
Curb Radius	15 feet
Public Frontage Type	ST, FC, DY/LC
Walkway Type	5 foot Sidewalk
Planter Type	5 foot Continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

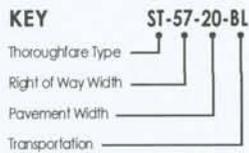
Thoroughfare Type	
Transect Zone Assignment	
Right-of-Way Width	
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
Public Frontage Type	
Walkway Type	
Planter Type	
Curb Type	
Landscape Type	
Transportation Provision	

2006 - 81860

**SMARTCODE**

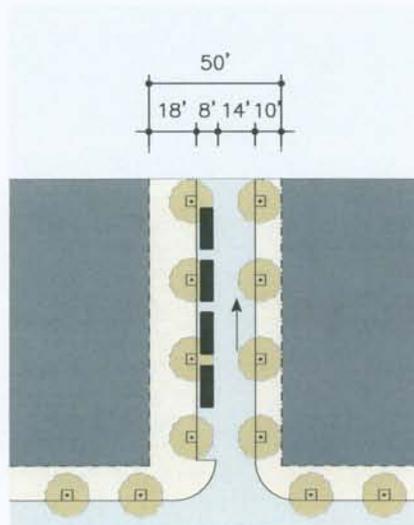
Elmore, Alabama

**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**



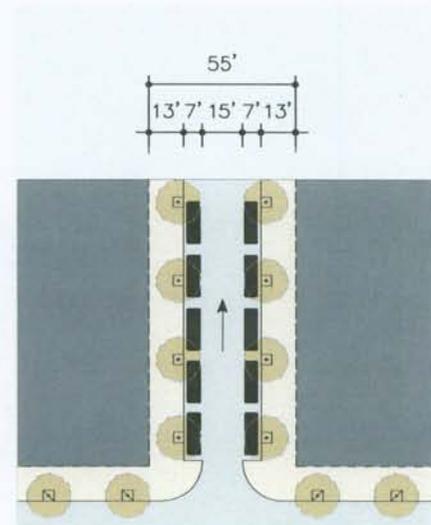
**THOROUGHFARE TYPES**

- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Street: ST
- Road: RD
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR



**CS-50-22**

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T6, T5
Right-of-Way Width	50 feet
Pavement Width	22 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	4 seconds
Traffic Lanes	1 lane
Parking Lanes	One Side @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning, Stoop, DY/LC
Walkway Type	18 foot Sidewalk
Planter Type	4x4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	



**CS-55-29**

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T6, T5
Right-of-Way Width	55 feet
Pavement Width	29 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	4 seconds
Traffic Lanes	1 lane
Parking Lanes	Both Sides @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning, Stoop, DY/LC
Walkway Type	13 foot Sidewalk
Planter Type	4x4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

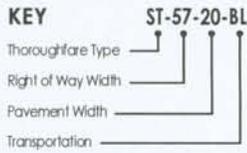
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Transect Zone Assignment	
Right-of-Way Width	
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
Public Frontage Type	
Walkway Type	
Planter Type	
Curb Type	
Landscape Type	
Transportation Provision	

2006 - 81861

**SMARTCODE**

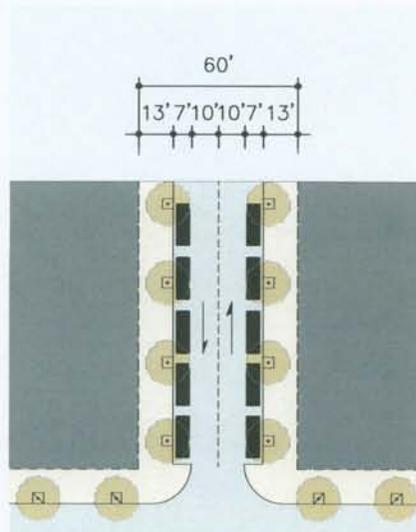
**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**

Elmore, Alabama

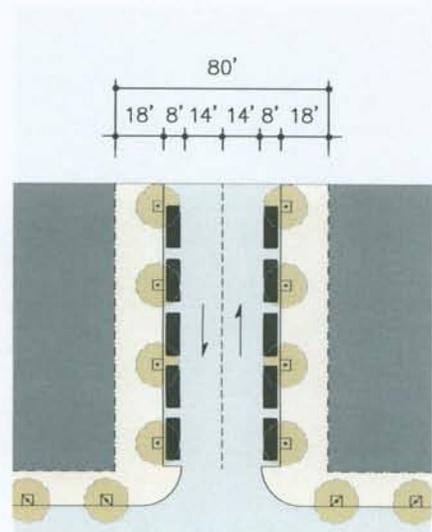


**THOROUGHFARE TYPES**

- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Street: ST
- Road: RD
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR



**CS-60-34**



**CS-80-44**

Thoroughfare Type
Transect Zone Assignment
Right-of-Way Width
Pavement Width
Movement
Design Speed
Pedestrian Crossing Time
Traffic Lanes
Parking Lanes
Curb Radius
Public Frontage Type
Walkway Type
Planter Type
Curb Type
Landscape Type
Transportation Provision

Commercial Street
T6, T5
60 feet
34 feet
Slow Movement
25 MPH
10 seconds
2 lanes
Both Sides @ 7 feet marked
15 feet
Gallery/Arcade, Shopfront/Awning
13 foot Sidewalk
4x4" Tree well
Curb
Trees at 30' o.c. Avg.

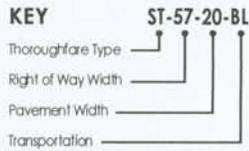
Commercial Street
T6, T5
80 feet
44 feet
Slow Movement
25 MPH
12 seconds
2 lanes
Both Sides @ 8 feet marked
15 feet
Gallery/Arcade, Shopfront/Awning
18 foot Sidewalk
4x4" Tree well
Curb
Trees at 30' o.c. Avg.

2006 - 81862

**SMARTCODE**

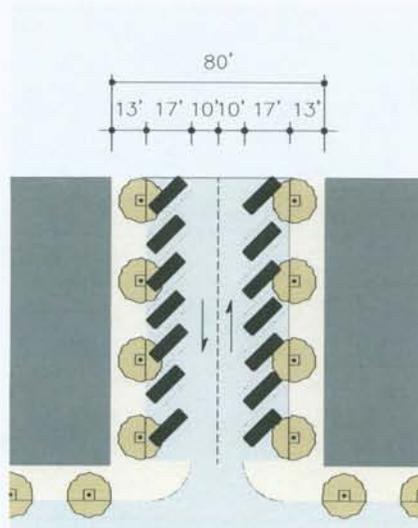
Elmore, Alabama

**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**



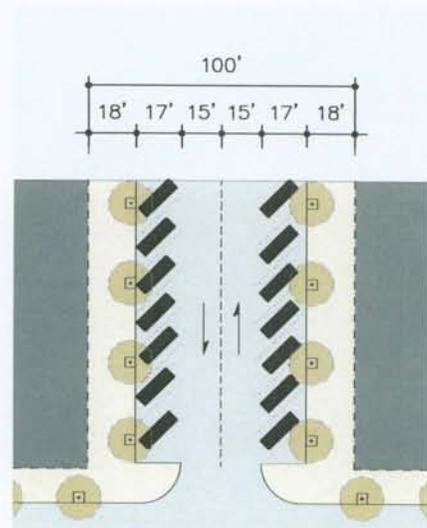
**THOROUGHFARE TYPES**

Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR



**CS-80-54**

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T6, T5
Right-of-Way Width	80 feet
Pavement Width	54 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	8 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	18 foot Sidewalk
Planter Type	4X4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	



**CS-100-64**

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T6, T5
Right-of-Way Width	100 feet
Pavement Width	64 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	8 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides angled @ 17 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	18 foot Sidewalk
Planter Type	4X4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

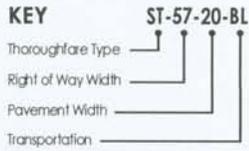
Thoroughfare Type	
Transect Zone Assignment	
Right-of-Way Width	
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
Public Frontage Type	
Walkway Type	
Planter Type	
Curb Type	
Landscape Type	
Transportation Provision	

2006-81863

**SMARTCODE**

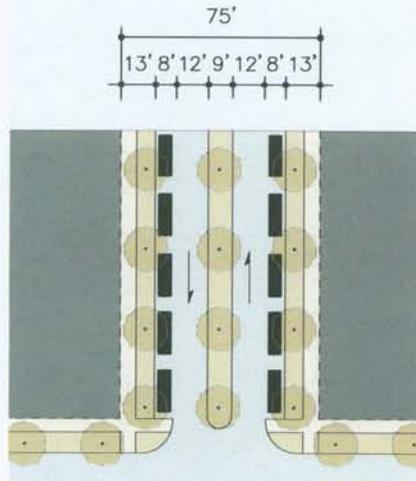
**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**

Elmore, Alabama

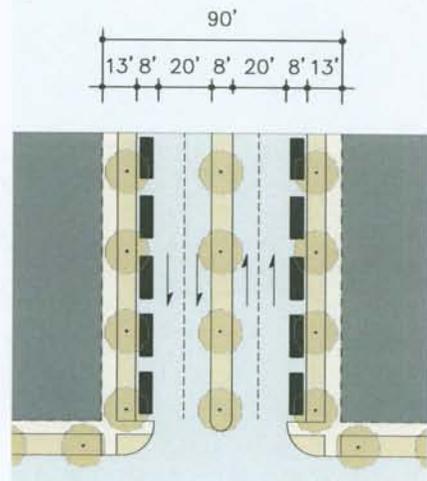


**THOROUGHFARE TYPES**

Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR



**AV-75-40**



**AV-90-56**

Thoroughfare Type
Transect Zone Assignment
Right-of-Way Width
Pavement Width
Movement
Design Speed
Pedestrian Crossing Time
Traffic Lanes
Parking Lanes
Curb Radius
Public Frontage Type
Walkway Type
Planter Type
Curb Type
Landscape Type
Transportation Provision

Avenue
T5, T4, T3
75 feet
40 feet
Slow Movement
25 MPH
13 seconds
2 lanes
Both Sides @ 8 feet marked
10 feet
A/G, S/A, ST, FC, D1/LC
6 foot Sidewalk
7 foot Continuous planter
Curb or Swale *
Trees at 30' o.c. Avg.
BR, TR

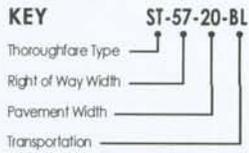
Avenue
T5, T4, T3
90 feet
56 feet
Slow Movement
25 MPH
13 seconds
4 lanes
Both Sides @ 8 feet marked
10 feet
A/G, S/A, ST, FC
6 foot Sidewalk
7 foot Continuous planter
Curb or Swale *
Trees at 30' o.c. Avg.
BR, TR

2006-81864

**SMARTCODE**

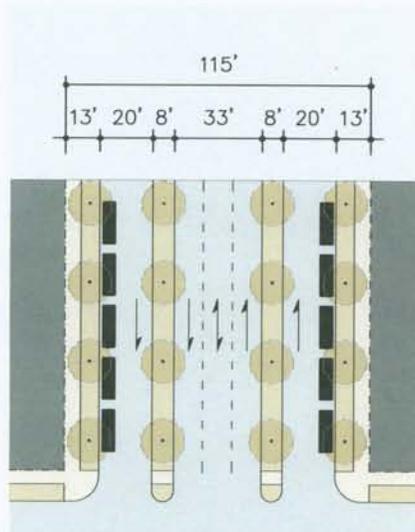
Elmore, Alabama

**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**



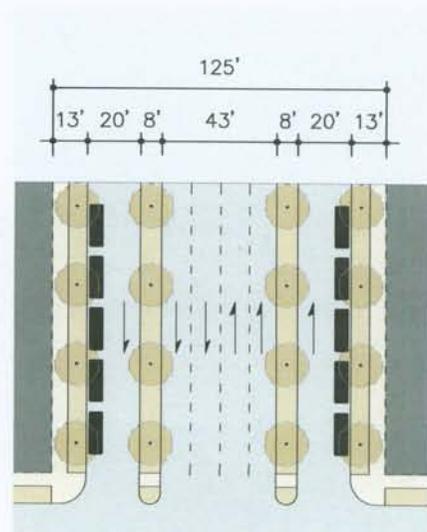
**THOROUGHFARE TYPES**

- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Street: ST
- Road: RD
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR



**BV-115-33**

Thoroughfare Type	Boulevard
Transect Zone Assignment	T6, T5
Right-of-Way Width	115 feet
Pavement Width	20 feet - 33 feet - 20 feet
Movement	Free Movement
Design Speed	35 MPH
Pedestrian Crossing Time	6 seconds - 9.5 seconds - 6 seconds
Traffic Lanes	3 lanes, one turning lane & two one-way slip roads
Parking Lanes	8 feet
Curb Radius	10 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	6 foot Sidewalk
Planter Type	7 foot Continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR



**BV-125-43**

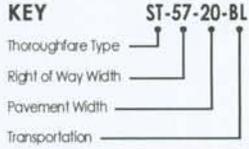
Thoroughfare Type	Boulevard
Transect Zone Assignment	T6, T5
Right-of-Way Width	125 feet
Pavement Width	20 feet - 43 feet - 20 feet
Movement	Free Movement
Design Speed	35 MPH
Pedestrian Crossing Time	6 seconds - 13 seconds - 6 seconds
Traffic Lanes	4 lanes & two one-way slip roads
Parking Lanes	8 feet
Curb Radius	10 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	6 foot Sidewalk
Planter Type	7 foot Continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR

2006-81865

**SMARTCODE**

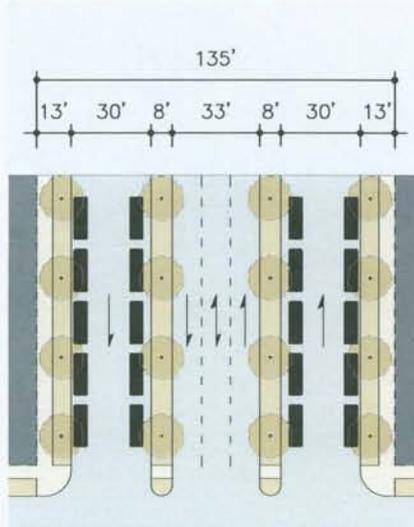
Elmore, Alabama

**TABLE 3C THOROUGHFARE ASSEMBLIES (continued)**



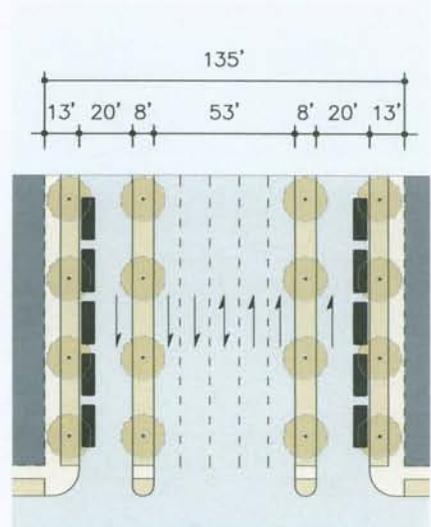
**THOROUGHFARE TYPES**

- |                    |    |
|--------------------|----|
| Boulevard:         | BV |
| Avenue:            | AV |
| Commercial Street: | CS |
| Street:            | ST |
| Road:              | RD |
| Rear Alley:        | RA |
| Rear Lane:         | RL |
| Bicycle Trail:     | BT |
| Bicycle Lane:      | BL |
| Bicycle Route:     | BR |
| Path:              | PT |
| Transit Route:     | TR |



**BV-135-33**

Thoroughfare Type	Boulevard
Transect Zone Assignment	T6, T5
Right-of-Way Width	135 feet
Pavement Width	30 feet - 33 feet - 30 feet
Movement	Free Movement
Design Speed	35 MPH
Pedestrian Crossing Time	8.5 seconds - 9.5 seconds - 8.5 seconds
Traffic Lanes	3 lanes, one turning lane & two one-way slip roads
Parking Lanes	8 feet
Curb Radius	10 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	6 foot Sidewalk
Planter Type	7 foot Continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR



**BV-135-53**

Thoroughfare Type	Boulevard
Transect Zone Assignment	T6, T5
Right-of-Way Width	135 feet
Pavement Width	20 feet - 53 feet - 20 feet
Movement	Free Movement
Design Speed	35 MPH
Pedestrian Crossing Time	6 seconds - 15 seconds - 6 seconds
Traffic Lanes	5 Lanes, one turning lane & two one-way slip roads
Parking Lanes	8 feet
Curb Radius	10 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	6 foot Sidewalk
Planter Type	7 foot Continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR

Thoroughfare Type	Boulevard
Transect Zone Assignment	T6, T5
Right-of-Way Width	135 feet
Pavement Width	30 feet - 33 feet - 30 feet
Movement	Free Movement
Design Speed	35 MPH
Pedestrian Crossing Time	8.5 seconds - 9.5 seconds - 8.5 seconds
Traffic Lanes	3 lanes, one turning lane & two one-way slip roads
Parking Lanes	8 feet
Curb Radius	10 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	6 foot Sidewalk
Planter Type	7 foot Continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR

2006-81866

**SMARTCODE**

**TABLE 4A PUBLIC FRONTAGES-GENERAL**

Elmore, Alabama

**TABLE 4A: Public Frontages - General.** This table sets forth the permissible Public Frontage types by Transect Zone. The Public Frontage is the area between the private lot line and the edge of the vehicular lanes. Dimensions are given in Table 4B (Public Frontages - Specific)

		PLAN			
		LOT	R.O.W.		
		PRIVATE FRONTAGE ▶	◀ PUBLIC FRONTAGE		
<p>a. (HW) For Highways: This frontage has open swales drained by percolation, bicycle trails and no parking. The landscaping consists of the natural condition or multiple species arrayed in naturalistic clusters. Buildings are buffered by distance or berms.</p>				T1	
				T2	
				T3	
<p>b. (RR) For Rural Roads: This frontage has open swales drained by percolation, without parking. The landscaping consists of multiple tree and shrub species arrayed in naturalistic clusters</p>				T1	
				T2	
				T3	
<p>c. (SR) For Standard Roads: This frontage has open swales drained by percolation and a walking path or bicycle trail along one or both sides and yield parking. The landscaping consists of multiple species arrayed in naturalistic clusters.</p>				T3	
				T4	
<p>d. (RS) For Residential Street: This frontage has raised curbs drained by inlets and narrow sidewalks separated from the vehicular lanes by a wide continuous planter, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced alley.</p>				T3	
				T4	
<p>e. (SS) (AV) For Standard Streets or Avenues: This frontage has raised curbs drained by inlets and wide sidewalks separated from the vehicular lanes by a narrow continuous planter with parking on both sides. The landscaping consists of a single tree species aligned in a regularly spaced alley.</p>				T5	
				T6	
<p>f. (CS) (AV) For Commercial Streets or Avenues: This frontage has raised curbs drained by inlets and very wide sidewalks along both sides separated from the vehicular lanes by separate tree wells with grates and parking on both sides. The landscaping consists of a single tree species aligned with regular spacing where possible but clears the storefront entrances.</p>				T5	
				T6	
<p>g. (BV) For Boulevards: This frontage has slip roads on both sides. It consists of raised curbs drained by inlets and sidewalks along both sides, separated from the vehicular lanes by planters. The landscaping consists of double rows of a single tree species aligned in a regularly spaced alley.</p>				T3	
				T4	
				T5	
				T6	





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Elmore, Alabama

**TABLE 6 PUBLIC PLANTING**

TABLE 6: Public Planting. This table assigns the permitted public planting types by Transect Zone

	T1	T2	T3	T4	T5	T6	SD	Specific Planting
Palm 	■	■	■	■	■	■		_____ _____ _____ _____ _____ _____
Oval 	■	■	■	■	■	■		_____ _____ _____ _____ _____ _____
Ball 	■	■	■	■	■	■		_____ _____ _____ _____ _____ _____
Pyramid 	■	■	■	■				_____ _____ _____ _____ _____ _____
Umbrella 	■	■	■	■				_____ _____ _____ _____ _____ _____
Vase 	■	■	■	■				_____ _____ _____ _____ _____ _____

**SMARTCODE**  
 Elmore, Alabama

**TABLE 7: Private Frontages.** This table sets forth the permitted Private Frontage types by Transect Zone.

	SECTION		PLAN		
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	
<p><b>a. Common Yard:</b> a frontage wherein the facade is set back substantially from the frontage line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep setback provides a buffer from the higher speed thoroughfares.</p>					T2 T3
<p><b>b. Porch &amp; Fence:</b> a frontage wherein the facade is set back from the frontage line with an attached porch permitted to encroaching. A fence at the frontage line maintains the demarcation of the yard. The porches shall be no less than 8 feet deep.</p>					T3 T4
<p><b>c. Terrace or Light Court:</b> a frontage wherein the facade is set back from the frontage line by an elevated terrace or a sunken light court. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafes.</p>					T4 T5
<p><b>d. Forecourt:</b> a frontage wherein a portion of the facade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.</p>					T4 T5 T6
<p><b>e. Stoop:</b> a frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.</p>					T4 T5 T6
<p><b>f. Shopfront and Awning:</b> a frontage wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning that may overlap the sidewalk to the maximum extent possible.</p>					T4 T5 T6
<p><b>g. Gallery:</b> a frontage wherein the facade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The gallery shall be no less than 10 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.</p>					T4 T5 T6
<p><b>h. Arcade:</b> a frontage wherein the facade is a colonnade that overlaps the sidewalk, while the facade at sidewalk level remains at the frontage line. This type is conventional for retail use. The arcade shall be no less than 12 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.</p>					T5 T6

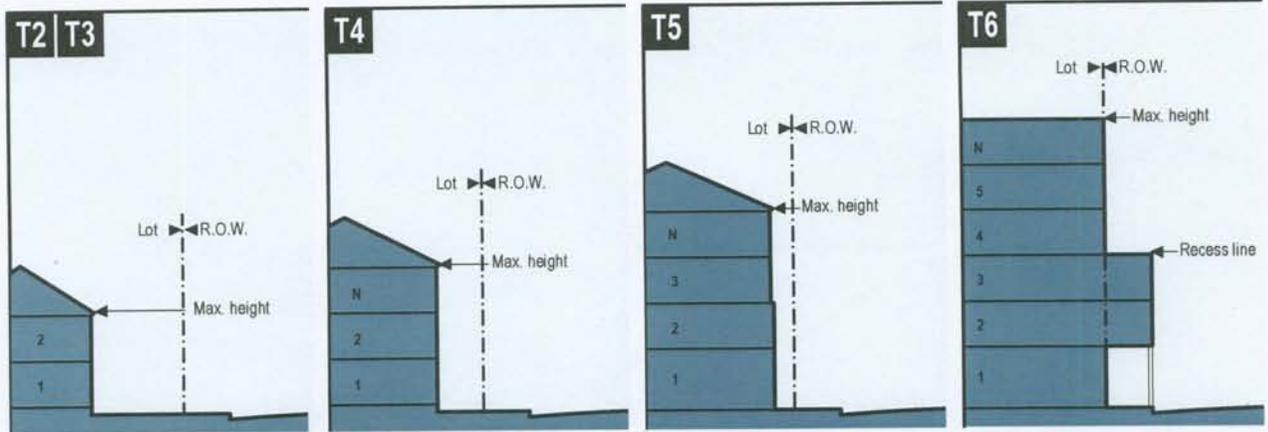
2006-81871

**SMARTCODE**

Elmore, Alabama

**TABLE 8 BUILDING CONFIGURATION**

TABLE 8: Building Configuration. This table sets forth the permitted Building Configuration for each Transect Zone.

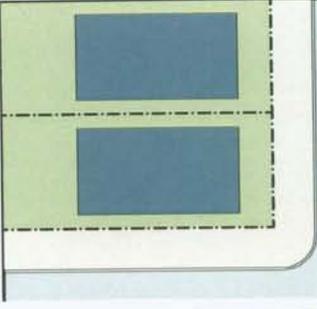
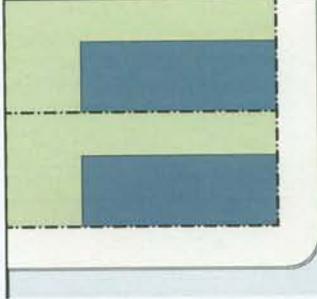
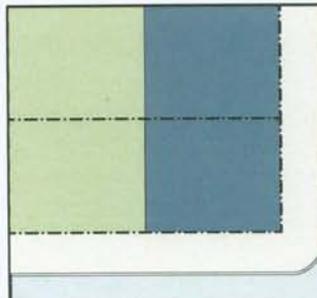
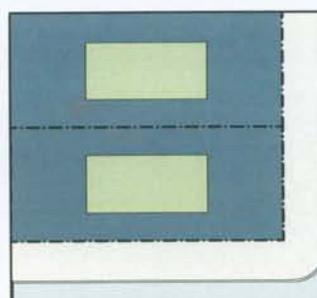
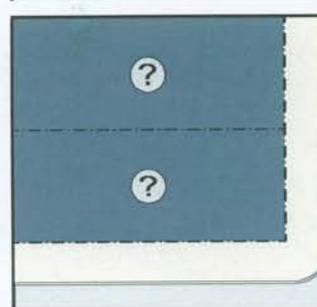


**SMARTCODE**

**TABLE 9 BUILDING TYPE**

Elmore, Alabama

TABLE 9: Building Type. This table sets forth the permitted Building types by Transect Zone.

<p><b>a. Edgeyard:</b> Specific Types - Single family House, Cottage, Villa, Estate House, Urban Villa. A building that occupies the center of its lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>	 <p>T1 T2 T3 T4</p>
<p><b>b. Sideyard:</b> Specific Types - Charleston Single House, zero-lot-line house. A building that occupies one side of the lot with the Setback to the other side. The visual opening of the side yard on the street frontage causes this building type to appear freestanding. A shallow frontage Setback defines a more urban condition. If the adjacent building is similar with a blank party wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze.</p>	 <p>T4 T5</p>
<p><b>c. Rearyard:</b> Specific Types - Townhouse, Rowhouse, Live-Work unit, perimeter block. A building that occupies the full frontage, leaving the rear of the lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>	 <p>T4 T5 T6</p>
<p><b>d. Courtyard:</b> Specific Types - Patio House. A building that occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>	 <p>T5 T6</p>
<p><b>e. Specialized:</b> A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery. Civic buildings, which may express the aspirations of institutions, may be included.</p>	 <p>SD</p>

**SMARTCODE**

**TABLE 10 BUILDING FUNCTION-SPECIFIC**

Elmore, Alabama

TABLE 10: Specific Function. This table sets forth the permitted Building Functions by Transect Zone and specific function.

	T1	T2	T3	T4	T5	T6	SD
<b>a. RESIDENTIAL</b>							
Apartment Building				■	■	■	
Rearyard House				■	■	■	
Duplex House				■	■		
Sideyard House			■	■	■		
Small House <1500 sq ft			■	■			
Medium House 1500-3000		■	■	■			
Large House >3000 sq ft		■					
Accessory Unit		■	■	■	■		
Manufactured House			□				□
Temporary Tent	□	□	□	□	□	□	□
Live-Work/Work-Live Unit			■	■	■	■	□
<b>b. LODGING</b>							
Hotel (no room limit)					■	■	□
Inn (up to 12 rooms)		□		■	■	■	
Inn (up to 5 rooms)		□	■	■	■	■	
Hostel			□	□	□	□	□
School Dormitory				■	■	■	■
<b>c. OFFICE</b>							
Office Building				■	■	■	□
<b>d. RETAIL</b>							
Open-Market Building		■	■	■	■	■	■
Retail Building				■	■	■	□
Display Gallery				■	■	■	□
Restaurant				■	■	■	□
Kiosk				■	■	■	□
Push Cart					□	□	□
<b>e. CIVIC</b>							
Bus Shelter			■	■	■	■	■
Convention Center						□	■
Conference Center					□	■	■
Fountain or Public Art		■	■	■	■	■	■
Library				■	■	■	■
Theater					■	■	■
Museum					□	■	■
Outdoor Auditorium		□	■		■	■	■
Parking Structure					■	■	■
Sports Stadium						□	■
Surface Parking Lot				□	□	□	■

	T1	T2	T3	T4	T5	T6	SD
<b>f. OTHER: AGRICULTURE</b>							
Grain Storage	■	■					□
Livestock Pen	□	□					□
Greenhouse	■	■	□				□
Stable	■	■	□				□
Kennel	■	■	□	□	□	□	□
<b>f. OTHER: AUTOMOTIVE</b>							
Gasoline		□			□	□	■
Automobile Service							■
Truck Maintenance							■
Drive-Through Facility					□	□	■
Rest Stop	■	■					□
Roadside Stand	■	■					□
Billboard						□	□
<b>f. OTHER: CIVIL SUPPORT</b>							
Fire Station			■	■	■	■	■
Police Station				■	■	■	■
Cemetery		■	□	□			■
Funeral Home				■	■	■	■
Hospital					□	□	■
Medical Clinic				□	■	■	■
<b>f. OTHER: EDUCATION</b>							
College					□	□	■
High School				□	□	□	■
Trade School					□	□	■
Elementary School			□	■	■	■	■
Childcare Center		■	■	■	■	■	□
<b>f. OTHER: INDUSTRIAL</b>							
Heavy Industrial Facility							■
Light Industrial Facility						□	■
Truck Depot							■
Laboratory Facility						□	■
Water Supply Facility							■
Sewer and Waste Facility							■
Electric Substation	□	□	□	□	□	□	■
Cremation Facility							■
Warehouse						□	■
Produce Storage							■
Mini-Storage							■

■ BY RIGHT  
□ BY WARRANT

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**SMARTCODE**

**TABLE 11 & 12 BUILDING FUNCTION-GENERAL & PARKING**

Elmore, Alabama

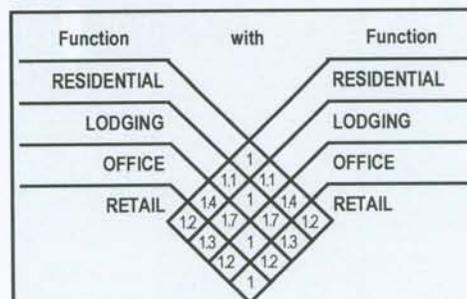
**TABLE 11: Building Function - General.** This table sets forth the permitted Building Functions by Transect Zone and general function.

	T3	T4	T5   T6
a. RESIDENTIAL	<b>Restricted Residential:</b> The number of dwellings on each lot is restricted to one within a principal building and one within an ancillary building, with 2.0 parking places for each. Both dwellings shall be under single ownership. The habitable area of the ancillary dwelling shall not exceed 500 square feet.	<b>Limited Residential:</b> The number of dwellings on each lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 10).	<b>Open Residential:</b> The number of dwellings on each lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 10).
b. LODGING	<b>Restricted Lodging:</b> The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to five, in addition to the parking requirement for the dwelling. Food service may be provided in the a.m.	<b>Limited Lodging:</b> The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	<b>Open Lodging:</b> The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom. Food service may be provided at all times.
c. OFFICE	<b>Restricted Office:</b> The building area available for office use on each lot is restricted to the first story of the principal or the ancillary building and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	<b>Limited Office:</b> The building area available for office use on each lot is limited to the first story of the principal building and/or to the ancillary building, and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	<b>Open Office:</b> The building area available for office use on each lot is limited by the requirement of 2.0 assigned parking places per 1000 square feet of net office space.
d. RETAIL	<b>Restricted Retail:</b> The building area available for retail use is restricted to one block corner location at the first story for each 300 dwelling units and by the requirement of 4.0 assigned parking places per 1000 square feet of net retail space in addition to the parking requirement of each dwelling. This specific use shall be further limited to neighborhood store or food service seating of no more than 20.	<b>Limited Retail:</b> The building area available for retail use is limited to the first story of buildings at corner locations, not more than one per block, and by the requirement of 4.0 assigned parking places per 1000 square feet of net retail space in addition to the parking requirement of each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 40.	<b>Open Retail:</b> The building area available for retail use is limited by the requirement of 3.0 assigned parking places per 1000 square feet of net retail space.
e. CIVIC	See Table 10	See Table 10	See Table 10
f. OTHER	See Table 10	See Table 10	See Table 10

**TABLE 12: Parking Calculation.** The Required Parking table summarizes the parking requirements of Table 11 for each site or, conversely, the amount of building allowed on each site given the parking available.

	REQUIRED PARKING (See table 11)		
	T2   T3	T4	T5   T6
RESIDENTIAL	2.0 / dwelling	1.5 / dwelling	1.0 / dwelling
LODGING	1.0 / bedroom	1.0 / bedroom	1.0 / bedroom
OFFICE	3.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.
RETAIL	4.0 / 1000 sq. ft.	4.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.
CIVIC	To be determined by warrant		
OTHER	To be determined by warrant		

**SHARING FACTOR**



SMARTCODE

Elmore, Alabama

a. **Park:** A natural preserve available for unstructured recreation. A park may be independent of surrounding building frontages. Its landscape shall consist of paths and trails, meadows, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 15 acres. Larger parks may be approved by warrant as districts in all zones.



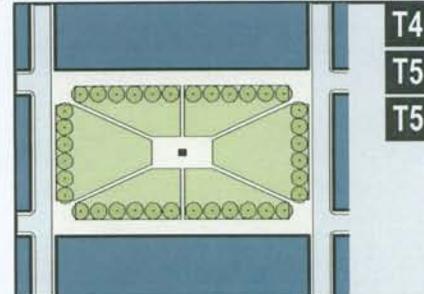
T1  
T2  
T3

b. **Green:** An open space, available for unstructured recreation. A green may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 2 acres and the maximum shall be 15 acres.



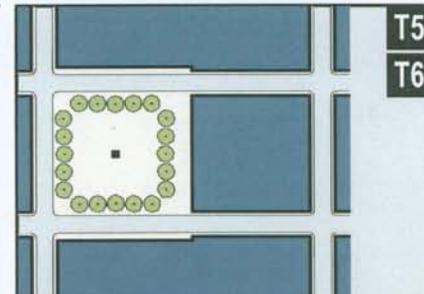
T3  
T4  
T5

c. **Square:** An open space available for unstructured recreation and civic purposes. A square is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important thoroughfares. The minimum size shall be 1 acre and the maximum shall be 5 acres.



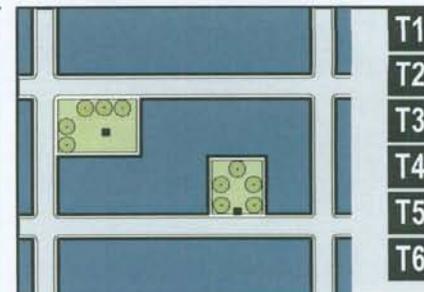
T4  
T5  
T5

d. **Plaza:** An open space, available for civic purposes and commercial activities. A plaza shall be spatially defined by building frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas shall be located at the intersection of important streets. The minimum size shall be 1 acre and the maximum shall be 2 acres.



T5  
T6

e. **Playground:** An open space designed and equipped for the recreation of children. A playground shall be fenced and may include an open shelter. Playgrounds shall be interspersed within residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.



T1  
T2  
T3  
T4  
T5  
T6



	T1 NATURAL ZONE	T2 RURAL ZONE	T3 SUB-URBAN ZONE	T4 GENERAL URBAN ZONE	T5 URBAN CENTER ZONE	T6 URBAN CORE ZONE	SD SPECIAL DISTRICTS
<b>A. ALLOCATION OF ZONES</b> (see Table 15)							
CLD	no minimum	50% MN	10 - 30%	20 - 40%	prohibited		
TND	no minimum		10 - 30%	30 - 60%	10 - 30%	prohibited	
RCD	no minimum		prohibited	10 - 30%	10 - 30%	40 - 80%	
[Reserved]							
<b>B. BASE RESIDENTIAL DENSITY</b>							
By Right	1 unit / 100 ac. avg.	1 unit / 20 ac. avg.	2 units / ac. gross	4 units / ac. gross	6 units / ac. gross	12 units / ac. gross	
[Reserved]							
Other Functions	by Variance		10 - 20% min	20 - 30% min	30 - 50% min	50 - 70% min	
<b>C. BLOCK SIZE</b>							
Block Perimeter	no maximum		3000 ft. max	2400 ft. max	2000 ft. max	2000 ft. max	* 3000 ft. max with parking structures
<b>D. PUBLIC FRONTAGES</b>							
HW & RR	permitted			prohibited			
BY	prohibited		permitted				
SR	prohibited		permitted		prohibited		
RS	prohibited		permitted		prohibited		
SS & AV	prohibited				permitted		
CS & AV	prohibited				permitted		
Rear Lane	permitted				prohibited		
Rear Alley	prohibited		permitted	required			
Path	permitted				prohibited		
Passage	prohibited		permitted				
Bicycle Trail	permitted			prohibited *			
Bicycle Lane	permitted				prohibited		
Bicycle Route	permitted						* permitted within Open Spaces
<b>E. CIVIC SPACES</b>							
Park	permitted						
Green	prohibited		permitted			prohibited	
Square	prohibited			permitted			
Plaza	prohibited				permitted		
Playground	permitted						
<b>F. LOT OCCUPATION</b>							
Lot Width	by Variance	by Warrant	72 ft. min 120 ft. max	18 ft. min 96 ft. max	18 ft. min 180 ft. max	18 ft. min 700 ft. max	
Lot Coverage	by Variance	by Warrant	60% max	70% max	80% max	90% max	
<b>G. BUILDING DISPOSITION</b>							
Front Setback	by Variance	48 ft. min	24 ft. min	6 ft. min 18 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	
Side Setback	by Variance	96 ft. min	12 ft. min	0 ft. total min	0 ft. min 24 ft. max	0 ft. min 24 ft. max	
Rear Setback	by Variance	96 ft. min	12 ft. min	3 ft. min *	3 ft. min *	0 ft. min	* or 15 ft. from center line of alley
<b>H. BUILDING TYPE</b>							
Edgeward	permitted				prohibited		
Sideward	prohibited			permitted		prohibited	
Rearward	prohibited			permitted	permitted		
<b>I. PRIVATE FRONTAGES</b>							
Common Yard	not applicable	permitted		prohibited			
Porch & Fence	not applicable	prohibited	permitted		prohibited		
Terrace or L.C.	not applicable	prohibited		permitted		prohibited	
Forecourt	not applicable	prohibited		permitted			
Stoop	not applicable	prohibited		permitted			
Shopfront & Awning	not applicable	prohibited		permitted			
Gallery	not applicable	prohibited		permitted			
Arcade	not applicable	prohibited			permitted		
<b>J. BUILDING HEIGHT</b>							
Principal Building	not applicable	3 stories max		4 stories max, 2 min	6 stories max, 2 min	12 stories max, 2 min	
Outbuilding	not applicable	2 stories max		2 stories max	2 stories max	not applicable	
<b>K. BUILDING FUNCTION</b>							
Residential	prohibited	restricted use		limited use	open use		
Lodging	prohibited	restricted use		limited use	open use		
Office	prohibited		restricted use	limited use	open use		
Retail	prohibited		restricted use	limited use	open use		

ARTICLE 5  
ARTICLE 3, 4

DISTRICTS  
RESIDENTIAL  
COMMERCIAL  
FUNCTION

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**SMARTCODE**

**TABLE 15 SUMMARY OF SPECIAL DISTRICTS**

Elmore, Alabama

**Table 15: Special District Summary.** Special Districts (SD) are areas that cannot comply with this Code. The metrics for each column of this table (SD1, SD2, etc.) are to be filled out with the details of each Special District as they currently exist, or as they are permitted.

Note: This table to be completed as each Special District is approved.

	DISTRICT SD1	DISTRICT SD2	DISTRICT SD3	DISTRICT SD4	DISTRICT SD5	DISTRICT SD6	DISTRICT SD7	
<b>A. ALLOCATION OF ZONES</b>								
a. CLD / Cluster	X							
b. TND / Village	X							
c. TOD / Town	X							
<b>B. BASE DENSITY ALLOCATION</b>								
a. Housing By Right	X unit/X ac. avg							
b. By TDR	X							
c. Other Functions	X							
<b>C. BLOCK SIZE</b>								
a. Block Perimeter	X							
<b>D. PUBLIC FRONTAGES</b>								
a. Rural Road	X							
b. Standard Road	X							
c. Residential Road	X							
d. Residential Street	X							
e. Standard Street	X							
f. Commercial Street	X							
g. Avenue	X							
h. Boulevard	X							
i. Rear Lane	X							
j. Rear Alley	X							
k. Path	X							
l. Passage	X							
m. Bicycle Trail	X							
n. Bicycle Lane	X							
o. Bicycle Route	X							
<b>E. CIVIC SPACES</b>								
a. Park								
b. Green	X							
c. Square	X							
d. Plaza	X							
e. Playground	X							
<b>F. LOT OCCUPATION</b>								
a. Lot Width	X							
b. Lot Coverage	X							
<b>G. BUILDING SETBACK</b>								
a. Front Setback	X							
b. Side Setback	X							
c. Rear Setback	X							
<b>H. BUILDING TYPE</b>								
a. Edgeyard	X							
b. Sideyard	X							
c. Rearyard	X							
<b>I. PRIVATE FRONTAGES TYPE</b>								
a. Common Yard	X							
b. Porch & Fence	X							
c. Terrace or L.C.	X							
d. Forecourt	X							
e. Stoop	X							
f. Shopfront	X							
g. Gallery	X							
h. Arcade	X							
i. Parking Lot	X							
<b>J. BUILDING HEIGHT</b>								
a. Principal Building	X							
b. Outbuilding	X							
<b>K. BUILDING FUNCTION</b>								
a. Residential								
b. Lodging	X							
c. Office	X							
d. Retail	X							

DESCRIPTION

COMPARISON

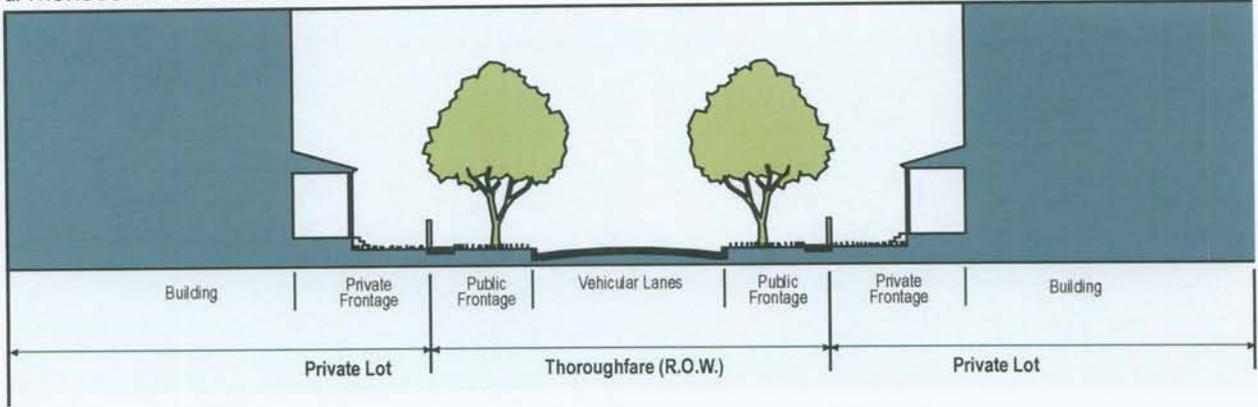
FUNCTION

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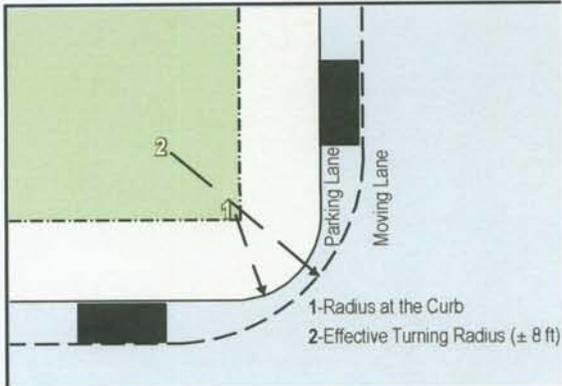
Elmore, Alabama

TABLE 16 DEFINITIONS ILLUSTRATED

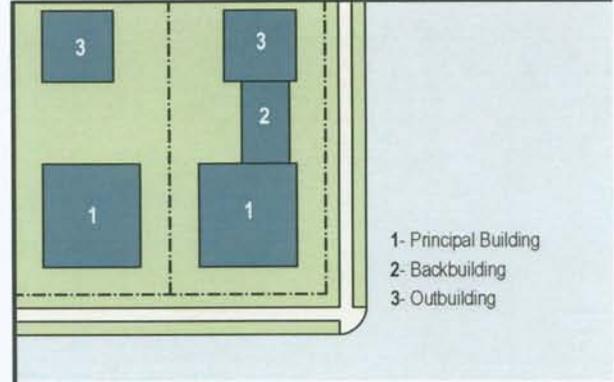
a. THOROUGHFARE & FRONTAGES



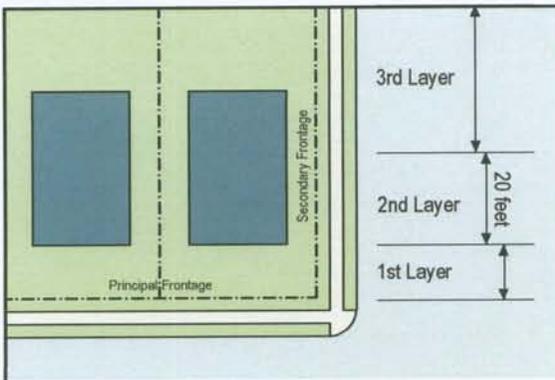
b. TURNING RADIUS



c. BUILDING DISPOSITION



d. LOT LAYERS



e. FRONTAGE & LOT LINES



This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the CRC shall determine the correct definition of the term.

## DEFINITIONS

**Allee:** a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Pedestrian Path.

**Ancillary Unit:** an apartment not greater than 600 square feet sharing ownership and utility connections with a Principal Building. Ancillary Units do not count toward maximum density calculations (see Tables 16 and 12).

**Apartment:** a dwelling unit sharing a building and a lot with other dwellings and/or uses. Apartments may be for rent or for sale as condominiums.

**Avenue (AV):** a thoroughfare of high vehicular capacity and low speed. Avenues are short distance connectors between urban centers. Avenues may be equipped with a landscaped median. Avenues become collectors upon exiting urban areas.

**Backbuilding:** a single-story structure connecting a principal building to an outbuilding (see Table 16).

**Bicycle Lane (BL):** a dedicated bicycle lane running within a moderate-speed vehicular thoroughfare, demarcated by striping.

**Bicycle Route (BR):** a thoroughfare suitable for the shared use of bicycles and automobiles moving at low speeds.

**Bicycle Trail (BT):** a bicycle lane running independently of a high-speed vehicular thoroughfare.

**Block:** the aggregate of private lots, passages, rear lanes and alleys, circumscribed by thoroughfares.

**Block Face:** the aggregate of all the building facades on one side of a block. The Block Face provides the context for establishing architectural harmony.

**Boulevard (BV):** a thoroughfare designed for high vehicular capacity and moderate speed. Boulevards are long-distance thoroughfares traversing urbanized areas. Boulevards are usually equipped with slip roads buffering sidewalks and buildings. Boulevards become arterials upon exiting urban areas.

**Brownfield:** an area previously used primarily as an industrial site.

**Building Configuration:** the form of a building, based on its massing, private frontage, and height.

**Building Disposition:** the placement of a building on its lot (see Tables 9 & 16).

**Building Function:** the uses accommodated by a building and its lot. Functions are categorized as Restricted, Limited, or Open, according to the intensity of the use (see Tables 10 & 11).

**Building Height:** the vertical extent of a building measured in stories, not including a raised basement or a habitable attic. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures. Building Height shall be measured from the average grade of the enfronting thoroughfare (see Table 8).

**Building Type:** a structure category determined by function, disposition on the lot,

and configuration, including frontage and height.

**By Right Permit:** a proposal for a building or community plan that complies with this code and may thereby be processed administratively, without public hearing.

**Civic:** the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

**Civic Building:** a building designed specifically for a civic function. Civic Buildings shall not be subject to the requirements of Article 5.

**Civic Space:** an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationship between their intended use, their size, their landscaping and their enfronting buildings (see Table 13).

**Commercial:** the term collectively defining workplace, office and retail functions.

**Common Destination:** An area of focused community activity defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, a bus stop. A Common Destination may act as the social center of a Neighborhood.

**Community Type:** a category defining the physical form of a settlement. The three basic Community Types addressed in this Code are CLD, TND, and RCD.

**Context:** surroundings made up of the particular combination of elements that create specific habitat.

**Corridor:** a lineal geographic system incorporating transportation and/or greenway trajectories. A transportation corridor may be a lineal urban Transect Zone.

**Courtyard Building:** a building that occupies the boundaries of its lot while internally defining one or more private patios.

**Curb:** the edge of the vehicular pavement detailed as a raised curb or flush to a swale. The Curb usually incorporates the drainage system (see Table 4).

**Density:** the number of dwelling units within a standard measure of land area, usually given as units per acre.

**Design Speed:** is the velocity at which a thoroughfare tends to be driven without the constraints of signage or enforcement. There are three ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired design speed.

**District:** see **Special District**.

**Driveway:** a vehicular lane within a lot, usually leading to a garage.

**Edgeward Building:** a building that occupies the center of its lot with setbacks on all sides.

**Elevation:** an exterior wall of a building not along a Frontage Line.

**Enfront:** to place an element along a frontage line, as in "porches enfront the street."

**Entrance, Principal:** the main point of access of pedestrians into a building.

**Facade:** the exterior wall of a building that is set along a Frontage Line.

**Frontage Line:** those lot lines that coincide with a public frontage. Facades along Frontage Lines define the public realm and are therefore more regulated than the elevations that coincide with other Lot Lines (see Table 16).

**Greenfield:** a project planned for an undeveloped area outside the existing urban

fabric.

**Greenway:** an open space corridor in largely natural conditions which may include Trails for bicycles and pedestrians.

**Greyfield:** an area previously used primarily as a parking lot. Shopping centers and shopping malls are typical Greyfield sites.

**Home Occupation:** non-retail commercial enterprises permitted in Zones T3-6. The work quarters should be invisible from the frontage, located either within the house or in an outbuilding. Permitted activities are defined by the Restricted Office category.

**Independent Building:** a building designed by a different architect from the adjacent buildings.

**Infill:** a project within existing urban fabric.

**Inside Turning Radius:** the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. (See Tables 3 and 16)

**Long Pedestrian Shed:** A Pedestrian Shed of 1/2 mile radius used for mapping community types when a transit stop (bus or rail) is present or proposed as the Common Destination. People have been shown to walk ten minutes to transit.

**Layer:** a range of depth of a lot within which certain elements are permitted (see Table 16).

**Linear Pedestrian Shed:** A Pedestrian Shed that is elongated along an important Commercial corridor such as a main street.

**Liner Building:** a building specifically designed to mask a parking lot or a parking garage from a frontage. A Liner Building, if less than 30 feet deep and two stories, shall be exempt from parking requirements.

**Live-Work:** a unit that contains a Commercial component anywhere in the unit.

**Lodging:** premises available for daily and weekly renting of bedrooms. The area allocated for food service shall be calculated and provided with parking according to retail use.

**Lot Line:** the boundary that legally and geometrically demarcates a lot.

**Lot Width:** the length of the principal Frontage Line of a lot.

**Manufacturing:** premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery and including their retail sale.

**Meeting Hall:** a building available for gatherings, including conferences. It should accommodate at least one room equivalent to a minimum of 10 square feet per projected dwelling unit within the pedestrian shed in which the meeting hall is located.

**Mixed Use:** multiple functions within the same building through superimposition or adjacency, or in multiple buildings within the same area by adjacency. Mixed use is one of the principles of TND development from which many of its benefits are derived, including compactness, pedestrian activity, and parking space reduction.

**Office:** premises available for the transaction of general business but excluding retail, artisanal and manufacturing uses.

**Outbuilding:** an accessory building, usually located towards the rear of the same

lot as a Principal Building. It is sometimes connected to the principal building by a Backbuilding. Outbuildings shall not exceed 600 square feet of habitable space, excluding parking areas (see Table 16).

**Parking Structure:** a building containing two or more stories of parking. Parking Structures shall have Liner Buildings at the first story or higher.

**Passage (PS):** a pedestrian connector passing between buildings, providing short-cuts through long blocks and connecting rear parking areas to frontages. Passages may be roofed over.

**Path (PT):** a pedestrian way traversing a park or rural area, with landscape matching the contiguous open space. Paths should connect directly with the urban sidewalk network.

**Pedestrian Shed:** an area, approximately circular, that is centered on a Common Destination. A Pedestrian Shed is applied to determine the approximate size of a Neighborhood. A Standard Pedestrian Shed is 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. It has been shown that provided with a pedestrian environment, most people will walk this distance rather than drive. The outline of the shed must be refined according to actual site conditions, particularly along Thoroughfares. The Common Destination should have the present or future capacity to accommodate a T5 Transect Zone for TND and a T6 Zone for RCD. A Long Pedestrian Shed is 1/2 mile radius or 2640 feet, and may be used for mapping when transit is present or proposed. (Sometimes called a "walkshed" or "walkable catchment.") A Linear Pedestrian Shed is elongated to follow a Commercial corridor.

**Planter:** the element of the public streetscape which accommodates street trees. Planters may be continuous or individual.

**Primary-Secondary Grid:** thoroughfare designations appearing on the Regulating Plan. Buildings on the P-Grid are subject to all of the provisions of this Code. Buildings on the S-Grid are exempt from certain provisions, allowing for Warranted open parking lots, unlined parking decks, drive-throughs and hermetic building fronts.

**Principal Building:** the main building on a lot, usually located toward the frontage (see Table 16).

**Private Frontage:** the privately held layer between the frontage line and the principal building facade. The structures and landscaping within the Private Frontage may be held to specific standards. The variables of Private Frontage are the depth of the setback and the combination of architectural elements such as fences, stoops, porches and galleries.

**Public Frontage:** the area between the curb of the vehicular lanes and the Frontage Line. Elements of the Public Frontage include the type of curb, walk, planter, street tree and streetlight.

**Rear Alley (AL):** a vehicular driveway located to the rear of lots providing access to service areas and parking, and containing utility easements. Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll curbs at the edges.

**Rear Lane (LA):** a vehicular driveway located to the rear of lots providing access to parking and outbuildings and containing utility easements. Rear lanes may be

paved lightly to driveway standards. Its streetscape consists of gravel or landscaped edges, no raised curb and is drained by percolation.

**Rearyard Building:** a building that occupies the full frontage line, leaving the rear of the lot as the sole yard. This is a more urban type, as the continuous facade spatially defines the public thoroughfare. For its residential function, this type yields a rowhouse. For its commercial function, the rear yard can accommodate substantial parking.

**Residential:** premises available for long-term human dwelling.

**Retail:** premises available for the sale of merchandise and food service.

**Retail Frontage Line:** Frontage Lines designated on a Community Plan that require the provision of a Shopfront, causing the ground level to be available for retail use.

**Road (RD):** a local, rural and suburban thoroughfare of low vehicular speed and capacity. Its public frontage consists of swales drained by percolation and a walking path or bicycle trail along one or both sides. The landscaping consists of multiple species composed in naturalistic clusters. This type is allocated to the more rural Transect Zones (T1-T3).

**Secondary Grid:** see **Primary-Secondary Grid.**

**Setback:** the area of a lot measured from the lot line to a building facade or elevation. This area must be maintained clear of permanent structures with the exception of: galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first story level) which are permitted to encroach into the Setback (see Section 5.2.1 and Table 14G).

**Shared Parking Policy:** an accounting for parking spaces that are available to more than one function. The requirement is reduced by a factor, shown as a calculation. The Shared Parking ratio varies according to multiple functions in close proximity which are unlikely to require the spaces at the same time (see Tables 11 and 12).

**Sidyard Building:** a building that occupies one side of the lot with a setback to the other side.

**Sidewalk:** the paved layer of the public frontage dedicated exclusively to pedestrian activity.

**Specialized Building:** a building that is not subject to Residential, Commercial, or Lodging classification. Most specialized buildings are dedicated to manufacturing and transportation, and are distorted by the trajectories of machinery.

**Special District (SD):** Special District designations shall be assigned to areas that, by their intrinsic function, disposition, or configuration, cannot conform to one of the six normative Transect Zones or three Community Types specified by this Code. Typical Districts may include large parks, institutional campuses, refinery sites, airports, etc.

**Standard Pedestrian Shed:** an area, approximately circular, that is centered on a Common Destination. A Pedestrian Shed is applied to determine the approximate size of a Neighborhood. A Standard Pedestrian Shed is 1/4 mile radius or 1320

rather than drive. The outline of the shed must be refined according to actual site conditions, particularly along thoroughfares.

**Story:** a habitable level within a building of no more than 14 feet in height from finished floor to finished ceiling. Attics and raised basements are not considered stories for the purposes of determining building height.

**Street (ST):** a local urban thoroughfare of low speed and capacity. Its public frontage consists of raised curbs drained by inlets and sidewalks separated from the vehicular lanes by a planter and parking on both sides. The landscaping consists of regularly placed street trees. This type is permitted within the more urban Transect Zones (T4-T6).

**Streetscape:** the urban element that establishes the major part of the public realm. The streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building facades and elevations, porches, yards, fences, awnings, etc.), and the amenities of the public frontages (street trees and plantings, benches, streetlights, etc.).

**Streetscreen:** sometimes called Streetwall. A freestanding wall built along the frontage line, or coplanar with the facade, often for the purpose of masking a parking lot from the thoroughfare. Streetscreens shall be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building facade. The streetscreen may be a hedge or fence by Warrant. Streetscreens shall have openings no larger than is necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated to avoid blank walls.

**Substantial Modification:** alterations to a building that are valued at more than 50% of the replacement cost of the entire building, if new.

**Terminated Vista:** a location at the axial conclusion of a thoroughfare. A building located at a Terminated Vista designated on a Community Plan is required to be designed in response to the axis.

**Third Place:** a private building that includes a space conducive to unstructured social gathering. Third Places are usually bars, cafés, and corner stores.

**Thoroughfare:** a vehicular way incorporating moving lanes and parking lanes within a right-of-way (see Tables 3 and 16).

**Transect:** a system of ordering human habitats in a range from the most natural to the most urban. The SmartCode is based upon six Transect Zones which describe the physical character of place at any scale, according to the density and intensity of land use and urbanism.

**Transect Zone (T-Zone):** Transect Zones are administratively similar to the land-use zones in conventional codes, except that in addition to the usual building use, density, height, and setback requirements, other elements of the intended habitat are integrated, including those of the private lot and building and the enfronting public streetscape. The elements are determined by their location on the Transect scale. The T-Zones are: T1 Natural, T2 Rural, T3 Sub-Urban, T4 General Urban, T5 Urban Center, and T6 Urban Core (see Table 1).

**Transition Line:** a horizontal line spanning the full width of a facade, expressed

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by a material change or by a continuous horizontal articulation such as a cornice or a balcony.

**Type:** a category determined by function, disposition, and configuration, including size or extent. There are community types, street types, civic space types, etc.

**Urban TND:** a TND Community Type within an urbanized area.

**Variance:** a ruling that would permit a practice that is not consistent with either a provision or the Purpose of this Code (Section 1.2). Variances are usually granted by the Board of Appeals in a public hearing. See Section 1.5.

**Village:** A Village is usually a TND Community Type standing isolated in the countryside, but with a stronger center than a hamlet due to its proximity to a transportation corridor.

**Warrant:** a ruling that would permit a practice that is not consistent with a specific provision of this Code, but is justified by the Purpose of this Code (See Section 1.5).

**Work-Live:** a mixed-use unit consisting of a Commercial and Residential Function.